



ARTIST IMPRESSION ONLY

PROPOSED NEW RESIDENCE


FOR

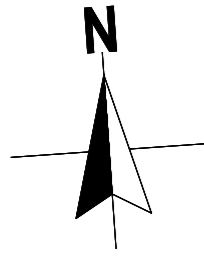
Mike Greer Homes Ltd



ARTIST IMPRESSION ONLY

IMPORTANT NOTE: ALL LANDSCAPING, PLANTING, LIGHTING AND FENCING IS SHOWN FOR IMAGING PURPOSES ONLY. REFER TO BUILDING CONTRACT AND "FIXTURES AND FITTINGS" FOR LANDSCAPING INCLUSIONS

 © Mike Greer Homes NZ Ltd Office: 3/321 Lower Queen Street, Richmond, Nelson Showhome: 1 Piwakawaka Drive, Stoke P O Box 3710, Richmond 7050 P 03 544 7873	JOB TITLE: Mike Greer Homes Ltd	DRAWING TITLE: Cover Index	LEGAL DESCRIPTION: LOT: 126 DP: TBC Bond St	LEGAL NOTES: 1. Subject to council approval 2. All measurements to be confirmed on site by the contractor prior to the commencement of work. <small>© 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited</small>	EXP ZONE: C	DES: JP	WIND ZONE: HIGH	JOB # ML0073
	<small>IMPORTANT NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS</small>		VERSION: 2	TECH: TBC	DATE OF ISSUE: 2/02/2022	SHEET: SK-01		



GENERAL NOTES

Site Area 700m²
 Floor Area over Framing 209.53 m²
 Floor Area over Foundation 209.53 m²
 Site Coverage Area 215.54 m²
 Site Coverage 29.9% (45% Allowable)
 Impervious Surface Area 86.14 m²

Exposure Zone C
 Wind Zone HIGH
 Earthquake Zone 2
 Snow Zone N3

Territorial Authority MDC
 Planning Zone Residential

General: Concept subject to TA rules and regulations.
 All dimensions to be confirmed on site
 Concept may be subject to subdivision developer's approval

Foundation Type: Engineered

Site Information: Position of road crossing, services locations, street trees, lamp posts, parking bays, pedestrian islands etc is unknown - to be confirmed when information becomes available.

Landscaping: This plan is indicative only.
 Landscaping to be confirmed by the client.
 All Fencing to comply with the relevant Covenants.
 Refer to Landscape Architects Plan.

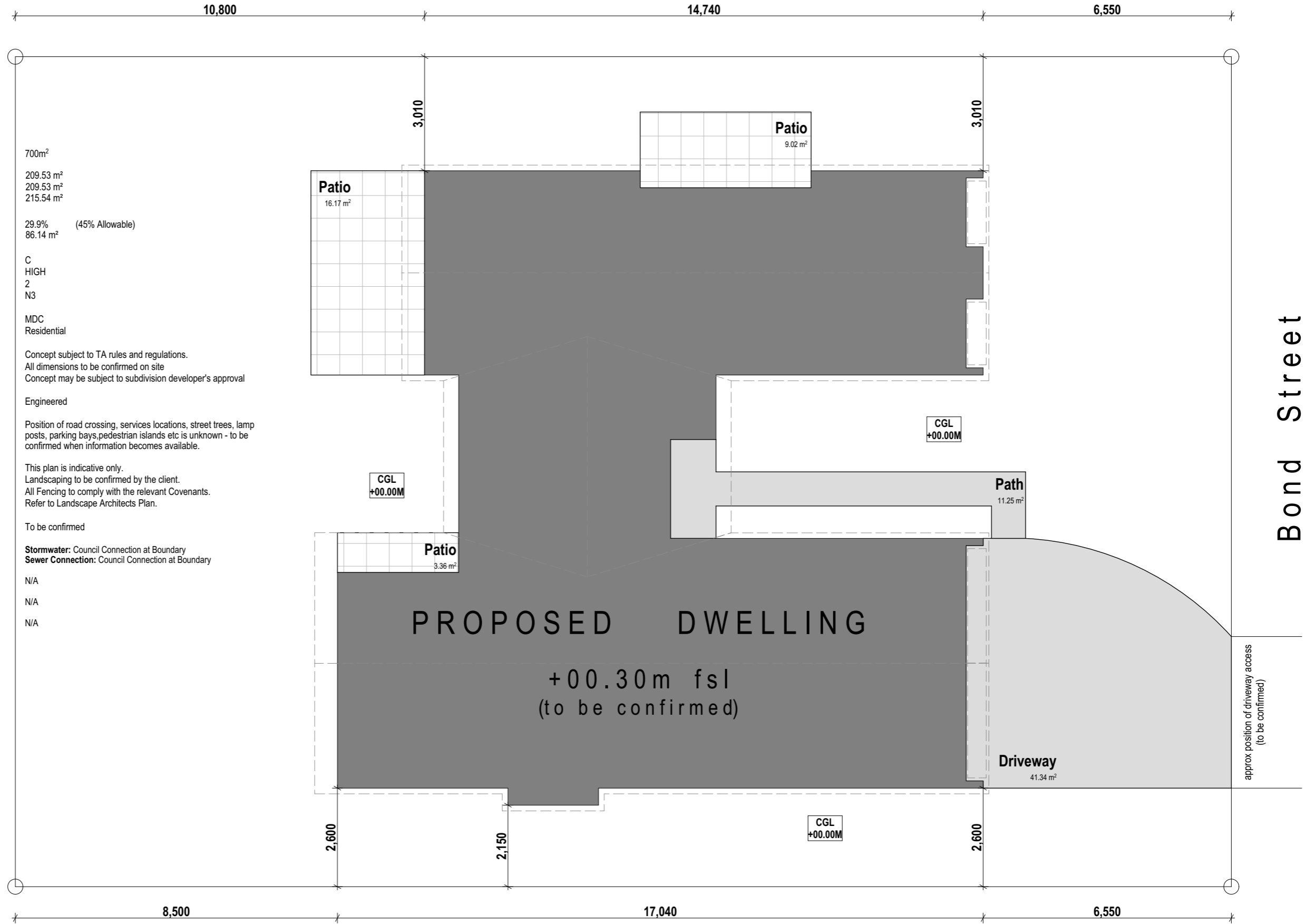
Boundary Information: To be confirmed

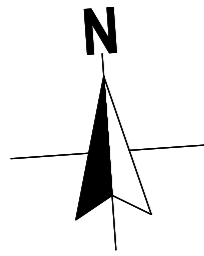
Site Services: **Stormwater:** Council Connection at Boundary
Sewer Connection: Council Connection at Boundary

Non Compliances Requiring RC: N/A

Covenant Non Compliances: N/A




Extras: N/A



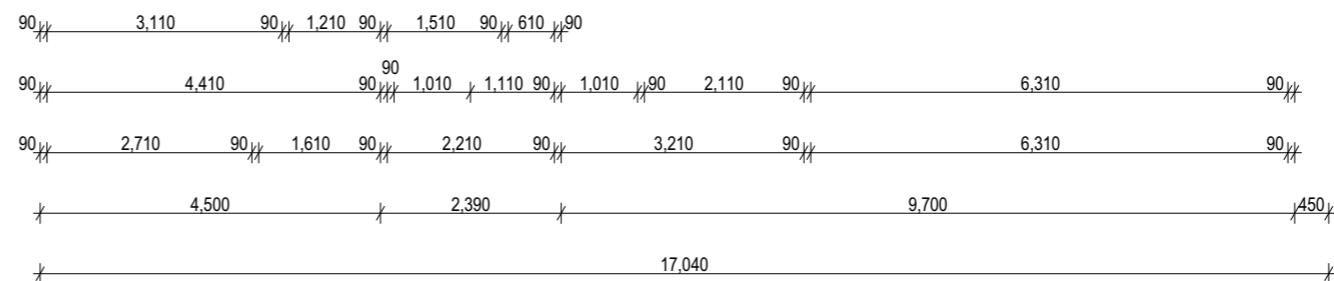
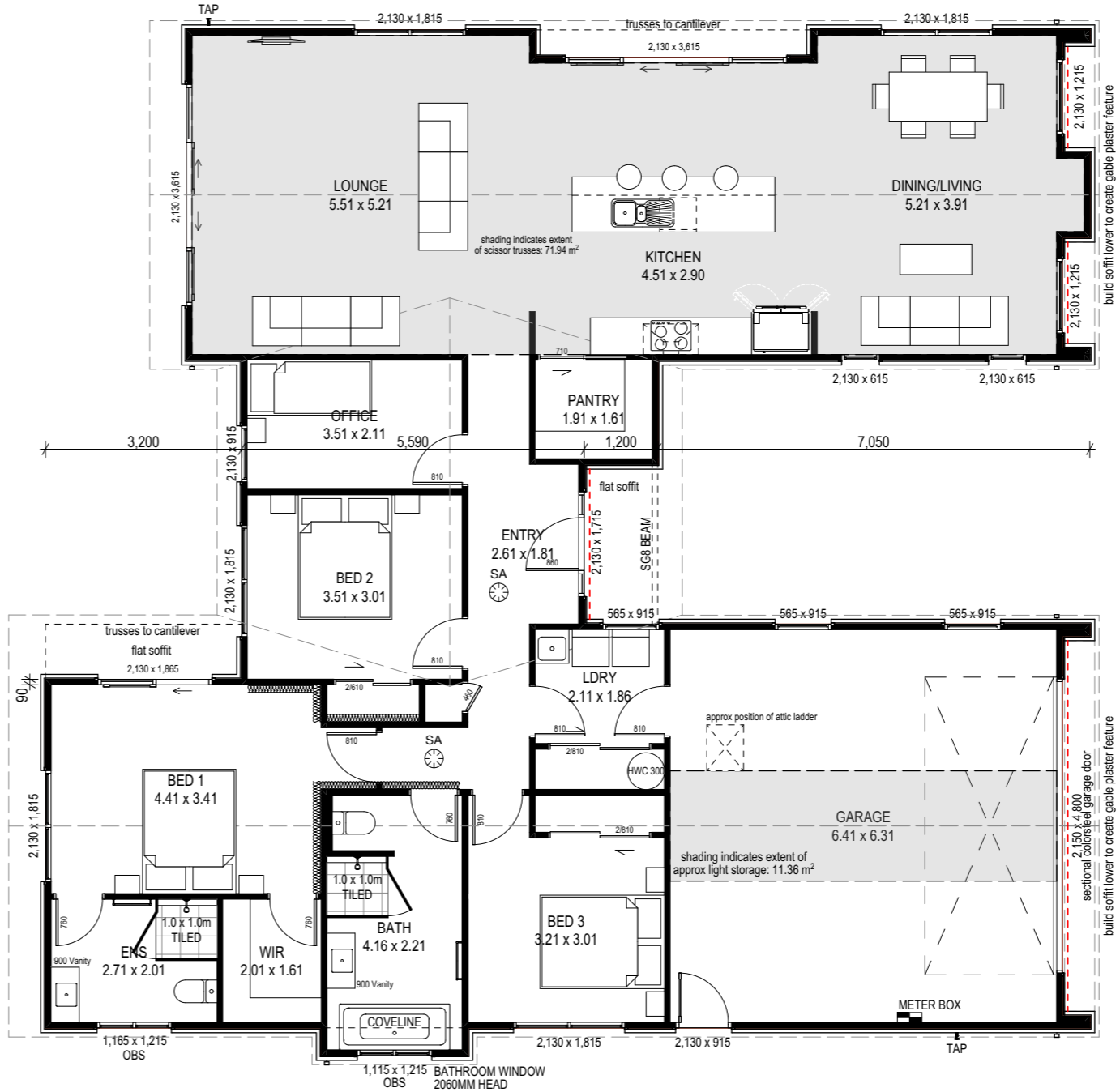
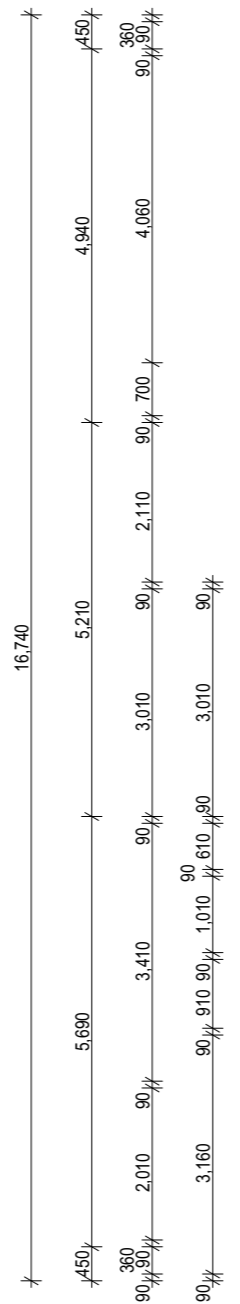
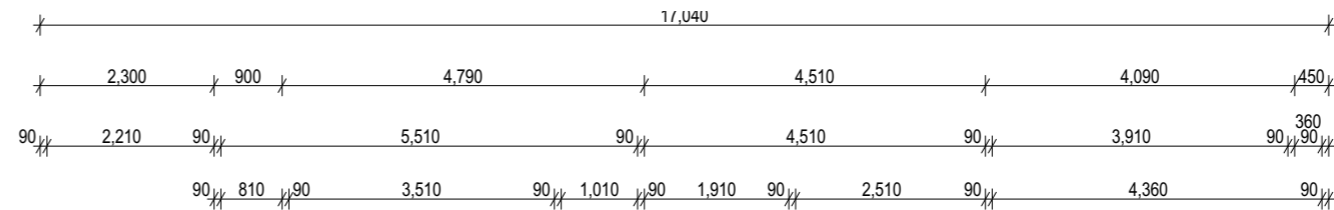


GENERAL NOTES

Perimeter (Over Foundation)	88,56m
Roof Pitch	30° main roof, 10° transition
Eaves Width	150/400mm
Gable Width	600mm
Height To Underside Of Truss	2460mm
Heel Height	by truss designer, ensure fascias match
Lintel Height	2130mm
Soffit Height	flat
Soffit Type	flat
Raised ceiling	n/a
Raking ceiling	lounge, kitchen, dining/living
Internal Door Leaf Height	standard
Roofing Materials	colorcote longrun roofing
Engineering:	foundation
Extras:	n/a

-  vertical cedar shiplap weatherboards on 20mm cavity
-  RCS EPS 50mm insulating facade system on 20mm cavity
-  PB Silencer acoustic batts

Area Over Framing: 209.53 m²




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 Showhome: 1 Piwakawaka Drive, Stoke
 P O Box 3710, Richmond 7050
 P 03 544 7873

JOB TITLE:
 Mike Greer Homes Ltd

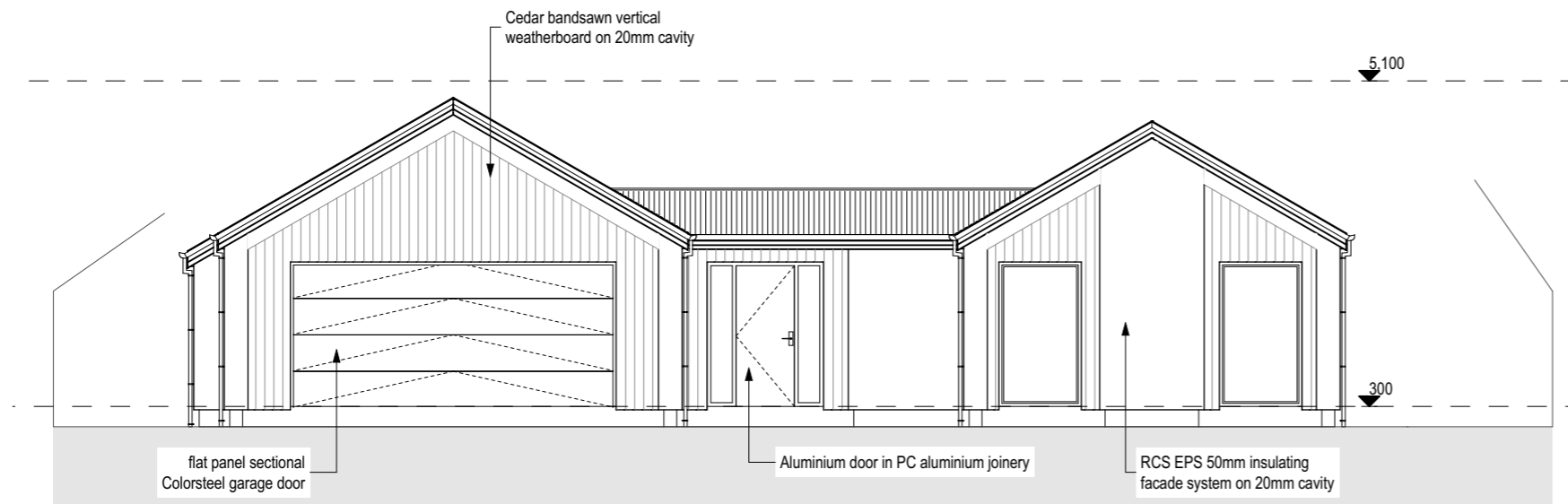
DRAWING TITLE:
 Ground Floor Plan

LEGAL DESCRIPTION:
 LOT: 126 DP: TBC
 Bond St

LEGAL NOTES:
 1. Subject to council approval
 2. All measurements to be confirmed on site by the contractor prior to the commencement of work.
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EXP ZONE: C	DES: JP	WIND ZONE: HIGH	JOB # ML0073
VERSION: 2	TECH: TBC	DATE OF ISSUE: 2/02/2022	SHEET: SK-03


IMPORTANT NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS



East Elevation

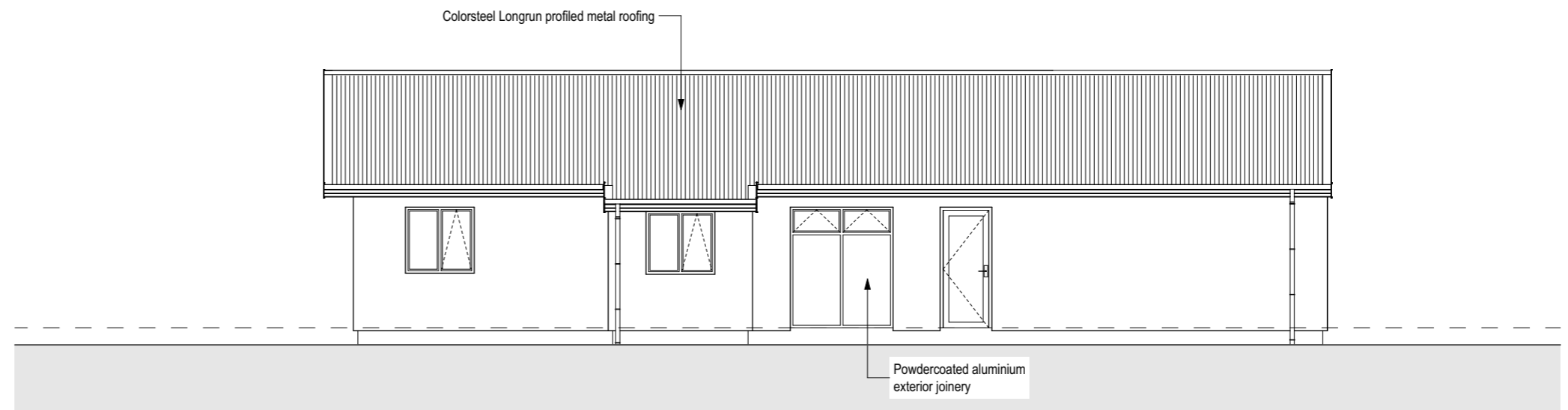


North Elevation

 © Mike Greer Homes NZ Ltd Office: 3/321 Lower Queen Street, Richmond, Nelson Showhome: 1 Piwakawaka Drive, Stoke P O Box 3710, Richmond 7050 P 03 544 7873	JOB TITLE: Mike Greer Homes Ltd	DRAWING TITLE: Exterior Elevations	LEGAL DESCRIPTION: LOT: 126 DP: TBC Bond St	LEGAL NOTES: 1. Subject to council approval 2. All measurements to be confirmed on site by the contractor prior to the commencement of work. <small>© 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited</small>	EXP ZONE: C	DES: JP	WIND ZONE: HIGH	JOB # ML0073
	<small>IMPORTANT NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS</small>	VERSION: 2	TECH: TBC	DATE OF ISSUE: 2/02/2022	SHEET: SK-04			

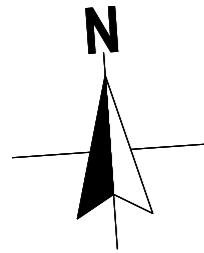


West Elevation



South Elevation

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	<p>IMPORTANT NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS</p>	<p>Bond St</p>	<p>VERSION:</p> <p>2</p>	<p>TECH:</p> <p>TBC</p>	<p>DATE OF ISSUE:</p> <p>2/02/2022</p>	<p>SHEET:</p> <p>SK-05</p>		



Colorsteel Longrun roofing on self supporting underlay on 70x45mm H1.2 purlins at 900mm crs max. on approved nail plate trusses

