

PROPOSED NEW RESIDENCE

MGH MARLBOROUGH LTD



ARTIST IMPRESSION ONLY

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IMPORTANT NOTE: ALL LANDSCAPING, PLANTING, LIGHTING AND FENCING IS SHOWN FOR IMAGING PURPOSES ONLY. REFER TO BUILDING CONTRACT AND "FIXTURES AND FITTINGS" FOR LANDSCAPING INCLUSIONS

<p>© Mike Greer Homes NZ Ltd Office: 3/321 Lower Queen Street, Auckland, New Zealand Showhome: 1 Piwaka Drive, Auckland P.O. Box 3710, Richmond 7099 P 03 544 8883</p>	<p>JOB TITLE: MGH MARLBOROUGH LTD</p>	<p>DRAWING TITLE: COVER SHEET / INDEX</p>	<p>LEGAL DESCRIPTION: LOT: 114 LT: 570928 8 OAKLEY AVE, ROSE MANOR</p>	<p>LEGAL NOTES: 1. Subject to council approval 2. All measurements to be confirmed on site by the contractor prior to the commencement of work. © 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited.</p>	<p>EXP ZONE: C</p>	<p>DES: JP</p>	<p>WIND ZONE: HIGH</p>	<p>JOB # ML0069</p>
	<p>IMPORTANT NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS</p>		<p>VERSION: V1</p>	<p>TECH: TC</p>	<p>DATE OF ISSUE: 7/06/2022</p>	<p>SHEET: 01</p>		

GENERAL NOTES
 FLOOR AREA OVER FRAMING: 224.91m²
 PERIMETER (OVER FOUNDATION) 105,280.0 mm

ROOF PITCH 30° - 10°
 EAVES WIDTH 150mm
 GABLE WIDTH 150mm
 HEIGHT TO UNDERSIDE OF TRUSS 2460 (2760 KITCHEN - DINING)mm
 LINTEL HEIGHT 2130mm
 SOFFIT TYPE FLAT (RAKING AT COVERED AREA - ENTRY)

RAISED CEILING SCISSOR TRUSS TO BED 1 - LIVING - COVERED AREA - LOUNGE - ENTRY

INTERNAL DOOR LEAF HEIGHT STANDARD

LININGS GIB(10mm TO WALLS 13mm TO CEILINGS)
 CEILING BATTENS 35mm METAL CEILING BATTENS @ 600mm CRS (DIRECT FIXED)
 GIB CONTROL JOINT REQUIRED FOR CEILINGS LONGER THAN 6m

HEATING: HEAT PUMP TO BE FIXED IN POSITION SHOWN ON THE DRAWINGS. REFER TO SPECIFICATIONS FOR MORE INFORMATION.

CEILING VENTS: BATHROOM, ENSUITE & LAUNDRY TO VENTED DIRECTLY TO EXTERIOR RANGE HOOD TO EXIT THROUGH SOFFIT LINING

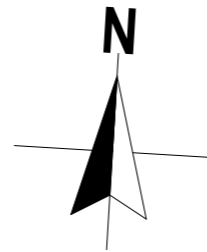
SMOKE ALARMS: REQUIRED WITHIN 3m OF ALL SLEEPING AREAS, CHANGE IN LEVEL & ENTRY/EXITS AS PER NZS 4514 & BRANZ BULLETINS NO'S 606

ADDITIONAL FLOOR PLAN NOTES:

- ALL GLAZING TO COMPLY WITH NZS4223
- ALL HARD FLOOR FINISHES AT MAIN ENTRANCE TO COMPLY WITH NZBC D1/AS TABLE 2.
- HOT WATER PIPES TO BE SIZED ACCORDING TO NZBC G12 & NZS4305:1996. MAINS PRESSURE: 15mm DIA. ALLOWS 12m MAX. PIPE LENGTH. PIPE LENGTH BEYOND THIS MUST BE LAGGED.
- SATIN ENAMEL WALL FINISH TO BATHROOM, ENSUITE & THOSE WALLS ADJACENT TO SINKS ETC. IN KITCHEN & LAUNDRY. IMPERVIOUS LINING TO BE USED ABOVE BASINS, VANITIES & BENCHES. BOTTOM EDGE TO BE FILLED WITH FUNGUS/MOULD RESISTANT SEALANT.
- ENSURE ALL SPACES WITHIN THE BUILDING ARE PROVIDED WITH ADEQUATE ARTIFICIAL LIGHTING (MIN. 20 LUX AT FLOOR LEVEL) TO ENABLE SAFE MOVEMENT IN THE ABSENCE OF NATURAL LIGHT
- ALL DOWNLIGHTS FITTED TO HOUSE ARE TO BE IC-F CLASS (INSULATION OVER)

WATER PROOFING MEMBRANE NOTE:

SELECTED WATERPROOFING MEMBRANE REQUIRED TO BATHROOMS & REBATED/LEVEL ACCESS SHOWERS.

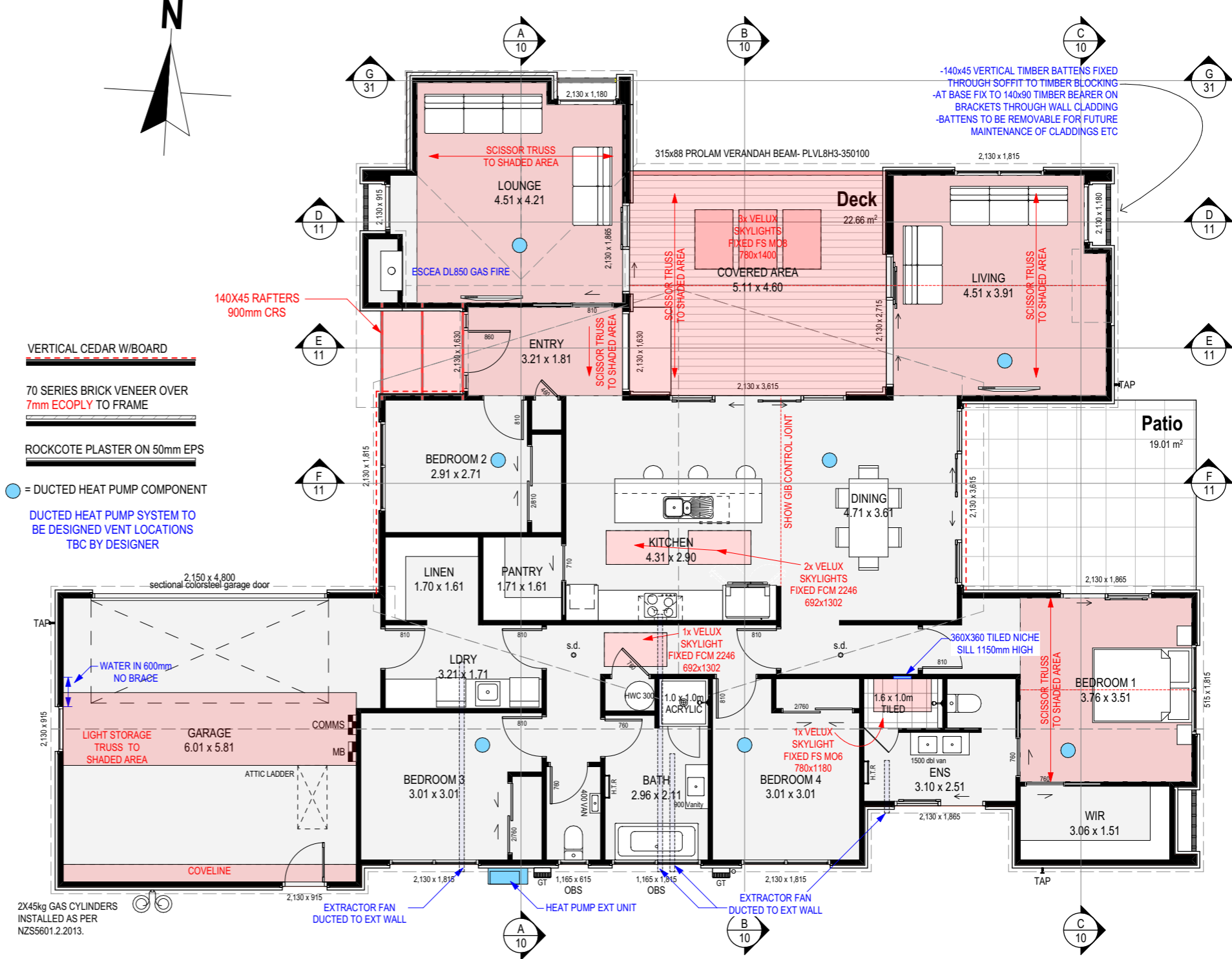


- VERTICAL CEDAR W/BOARD
- 70 SERIES BRICK VENEER OVER 7mm ECOPLY TO FRAME
- ROCKCOTE PLASTER ON 50mm EPS
- = DUCTED HEAT PUMP COMPONENT
- DUCTED HEAT PUMP SYSTEM TO BE DESIGNED VENT LOCATIONS TBC BY DESIGNER

KEY:

- SMOKE DETECTOR ○
- METER BOARD ■
- DISTRIBUTION BOARD ■
- COMMS PANEL ■
- GULLY TRAP ■
- HOSE TAP HT
- DOWNPIPE DP
- INTERNAL HEAT PUMP ■
- EXTERNAL HEAT PUMP ■
- 2X45KG GAS BOTTLES ■

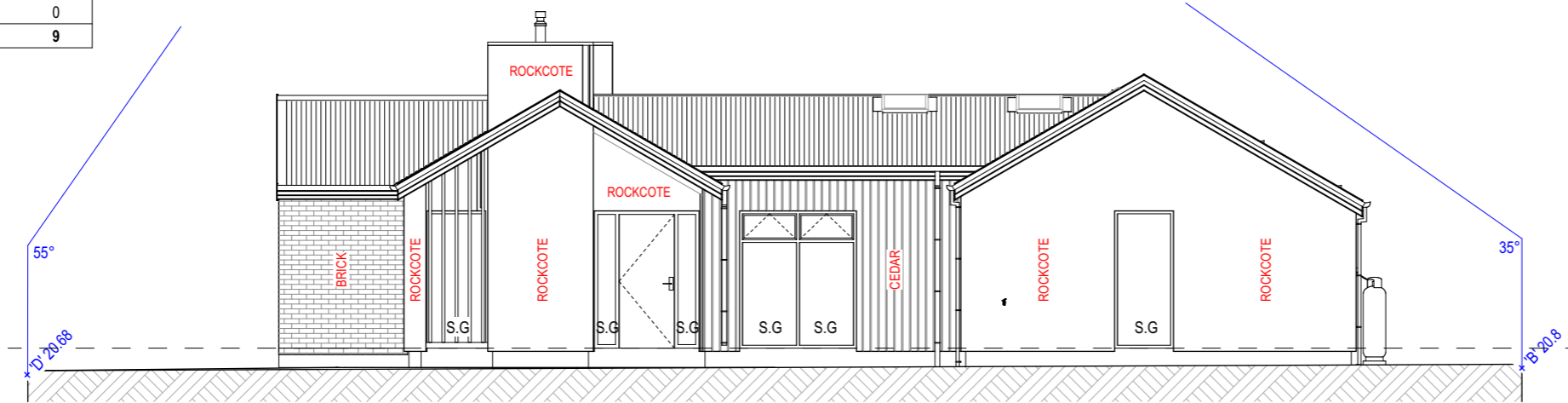
2,150 x 4,800 sectional colorsteel garage door
 WATER IN 600mm NO BRACE
 LIGHT STORAGE TRUSS TO SHADED AREA
 GARAGE 6.01 x 5.81
 COMMS MB
 ATTIC LADDER
 COVELINE
 2X45kg GAS CYLINDERS INSTALLED AS PER NZS5601.2.2013.



FLOOR PLAN

SCALE 1:100 @A3

BUILDING ENVELOPE RISK MATRIX		
ALL EXTERNAL WALLS		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	Very high risk	5
Eaves width	Low	0
Envelope complexity	High risk	3
Deck design	Low risk	0
Total Risk Score:		9



WEST ELEVATION

SCALE 1:100 @A3

JOINERY
 - ALL JOINERY FROM DOUBLE GLAZED(EXCEPT GARAGE) POWDER COATED ALUMINIUM. TO COMPLY WITH NZS4223.JOINERY MANUFACTURER TO VERIFY ALL SIZES ON SITE, SIZES NOMINATED ON FLOOR PLAN ARE OPENING SIZES JOINER AND OWNER ALL TO AGREE CONFIGURATION OF GLAZING PRIOR TO MANUFACTURE. DOOR PANEL SIZES MAY NOT BE EVEN WIDTHS AS SHOWN IN THESE ELEVATIONS
 0 = OPAQUE GLASS - VERIFY WITH OWNER
 S.G. = SAFETY GLASS REQ.
 R.S. = RESTRICTOR STAYS

CLADDING GENERAL
 SOME CLADDING PRODUCTS REQUIRE HORIZONTAL OR VERTICAL JOINERS THAT WILL NOT BE SHOWN IN ELEVATIONS

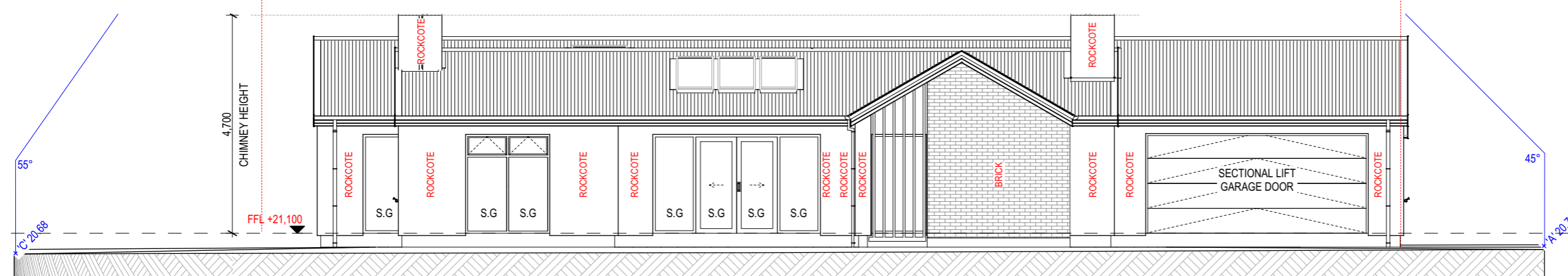
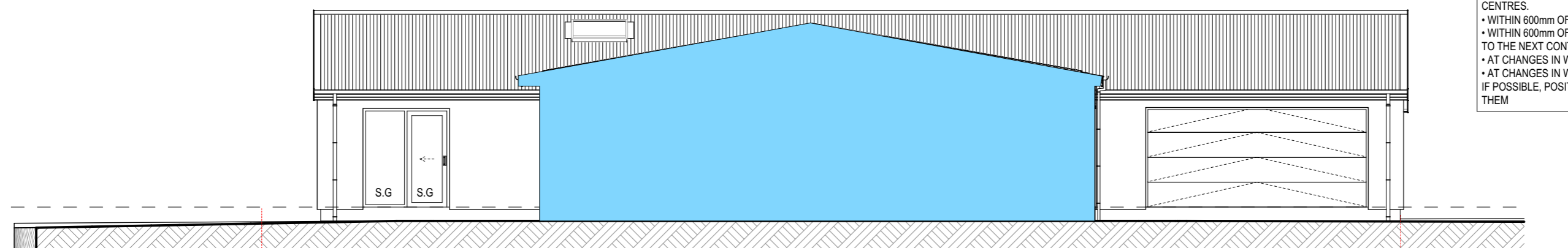
RCS ROCKCOTE MODIFIED PLASTER
 MESH REINFORCED PLASTER OVER 50mm POLYSTYRENE ON CAVITY BATTEN SYSTEM OVER BUILDING WRAP TO FRAMING.

CONTROL JOINTS TO OCCUR
 WHERE THE WALL LENGTH IS GREATER THAN 8 METRES IN LENGTH A CONTROL JOINT WILL NEED TO BE INSTALLED OR WHERE A TWO STOREY DWELLING WALL HEIGHT EXCEEDS 6 METRES A HORIZONTAL CONTROL JOINT IS REQUIRED

RK55 VERTICAL CEDAR
 VERT. CEDAR WEATHERBOARD CLADDING ON 20mm CAVITY OVER BUILDING WRAP TO FRAME SEE FIXING DETAILS IN ATTACHED SPECIFICATION.

BRICK
 70 SERIES BIG FACE BRICK ON 50mm CAVITY OVER BUILDING 7mm ECOPLY TO FRAME SEE FIXING DETAILS IN ATTACHED SPECIFICATION.

CONTROL JOINTS
 VERTICAL CONTROL JOINTS ARE PLACED AT NOT MORE THAN 6m CENTRES.
 • WITHIN 600mm OF T-JOINTS;
 • WITHIN 600mm OF L SHAPED CORNERS OR BY RESTRICTING THE SPACE TO THE NEXT CONTROL JOINT TO 3.2m MAXIMUM
 • AT CHANGES IN WALL HEIGHT THAT EXCEED 600mm;
 • AT CHANGES IN WALL THICKNESS.
 IF POSSIBLE, POSITION A CONTROL JOINT BEHIND DOWN PIPES TO HIDE THEM



NORTH ELEVATION

SCALE 1:100 @A3

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JOB TITLE:
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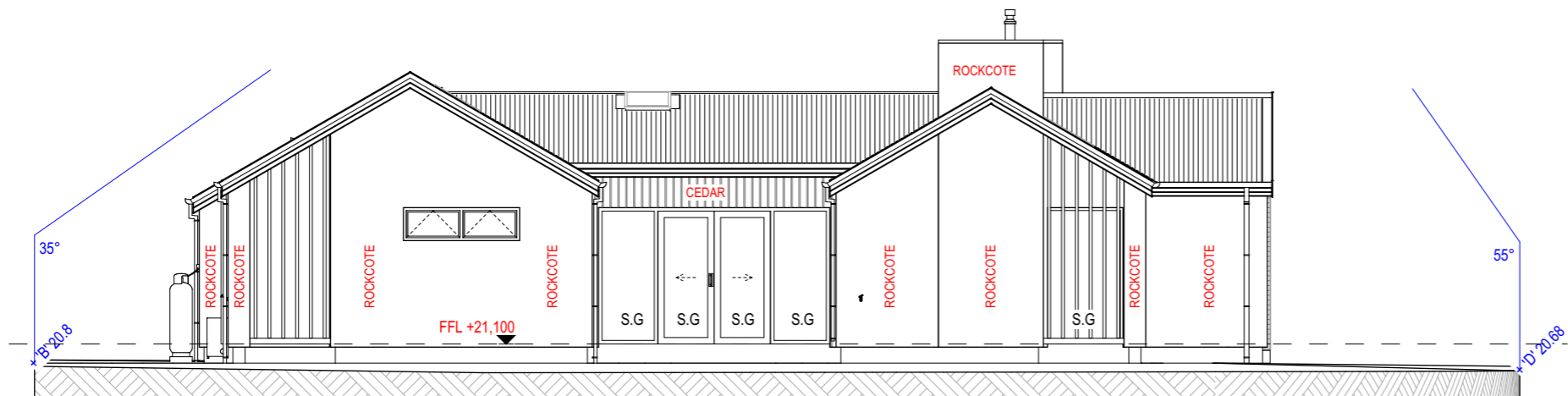
DRAWING TITLE:
ELEVATIONS

LEGAL DESCRIPTION:
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 8 OAKLEY AVE, ROSE
 MANOR

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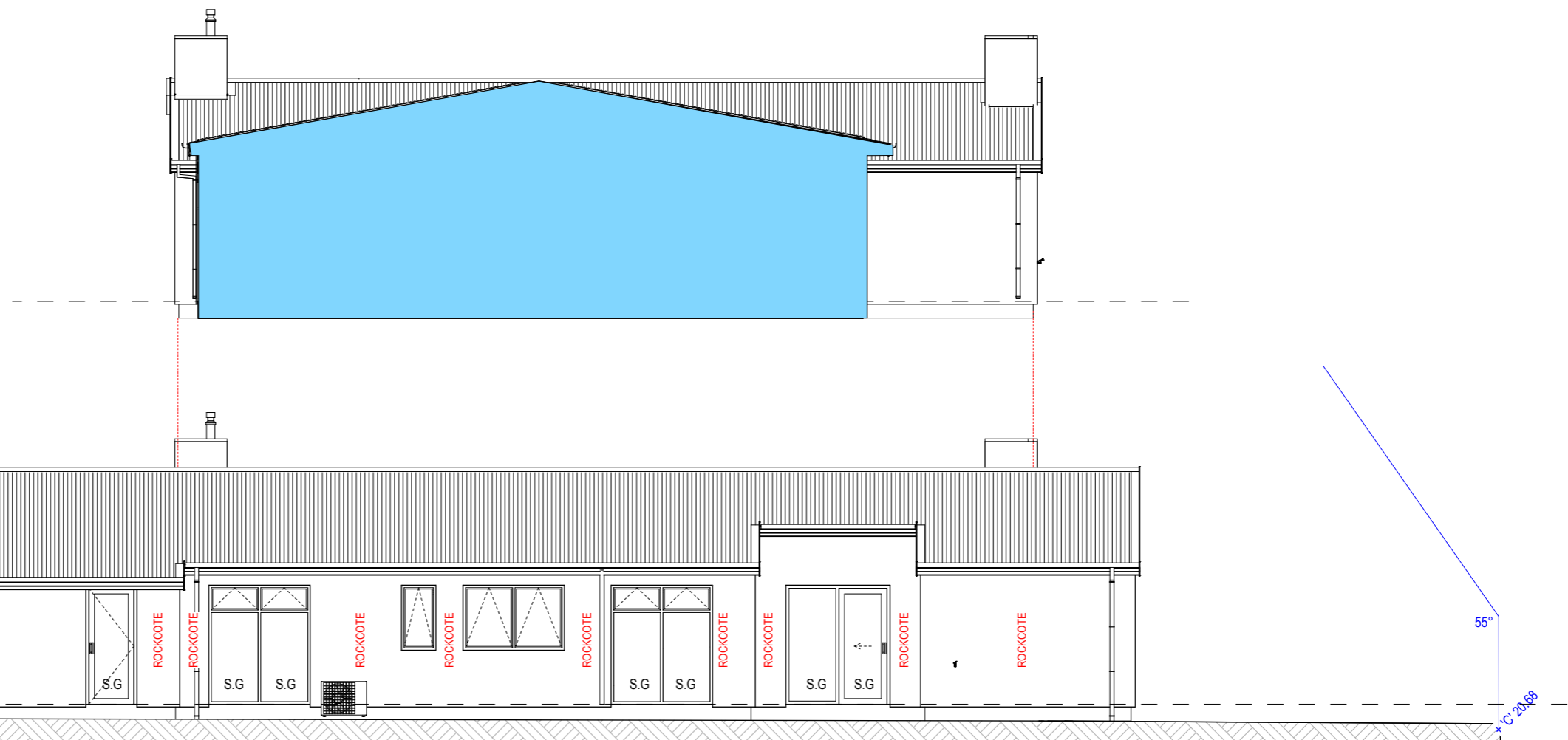
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IMPORTANT NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS



EAST ELEVATION

SCALE 1:100 @A3



SOUTH ELEVATION

SCALE 1:100 @A3

GENERAL NOTES:

ROOF CLADDING:

SELECTED 30°-10° PITCH COLORCOTE WITH 150mm OVERHANG (150mm IN GABLES) OVER SELF SUPPORTING UNDERLAY ON 90x45 SG6 H1.2 PURLINS @ 900mm CRS ON APPROVED NAIL PLATE TRUSSES @ 900 CRS MAX. 185mm COLORCOTE FASCIA.

PROPRIETARY COLORSTEEL SPOUTING WITH CONCEALED BRACKETS @ 800mm CRS MAX. FIXED TO COLORSTEEL FASCIA. (5,550mm² CROSS SECTIONAL AREA TO SPOUTING). WITH 75x50mm COLORSTEEL DOWNPIPES

ALL FLASHINGS TO BE 0.55 BMT COLORSTEEL FIXED IN ACCORDANCE WITH NZS3604:2011 AND MEETING THE DURABILITY REQUIREMENTS OF NZBC E2/AS1 TABLE 20,21,22

ROOF FRAMING:

ALL TRUSSES TO BE DESIGNED & APPROVED BY A QUALIFIED TRUSS MANUFACTURER ABLE TO ISSUE A PRODUCER STATEMENT PRIOR TO BUILDING CONSENT APPROVAL, WHICH SHALL GUARANTEE SATISFACTORY PERFORMANCE WITHIN THE PARAMETERS OF THIS DESIGN. THE TRUSS SYSTEM DESIGN SHALL INCLUDE BRACING IN ACCORDANCE WITH NZS3604:2011.

PITCHING HEIGHT TO BE SET AT 2460 (2760 KITCHEN - DINING)mm ABOVE FFL

RAISED CEILING SCISSOR TRUSS TO BED 1 - LIVING - COVERED AREA - LOUNGE - ENTRY

FIXING NOTES:

11° ROOF PITCH OR HIGHER = RUN UNDERLAY HORIZONTALLY OR VERTICALLY
10° ROOF PITCH OR LOWER = RUN UNDERLAY HORIZONTALLY ONLY

PURLINS/BATTENS FIXED TO TRUSSES AS PER NOTE ON DRAWINGS THIS SHEET

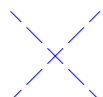
90X45mm H1.2 TREATED SG8 OUTRIGGERS TO GABLE VERGE TO ALLOW FOR 600mm OVERHANG/EAVE WIDTH. OUTRIGGERS TO SPAN BACK TO NEXT TRUSS. OUTRIGGERS TO BE FIXED AS PER NZS3604:2011 TABLE 10.18 & BRANZ ADAPTATION BUILD 142:
- 2/90 X 3.15mm SKEW NAILS & 2/WIRE DOGS EACH SIDE TO GABLE TRUSSES.
- 2/90 X 3.15mm SKEW NAILS & 2/WIRE DOGS EACH SIDE TO RAFTERS.
- 4/90 X 3.15mm SKEWED NAILS TO BLOCKING.

SELECTED NAIL PLATE TRUSSES @ 900mm CRS MAX. FIXED TO TOP PLATE AS PER TRUSS DESIGN

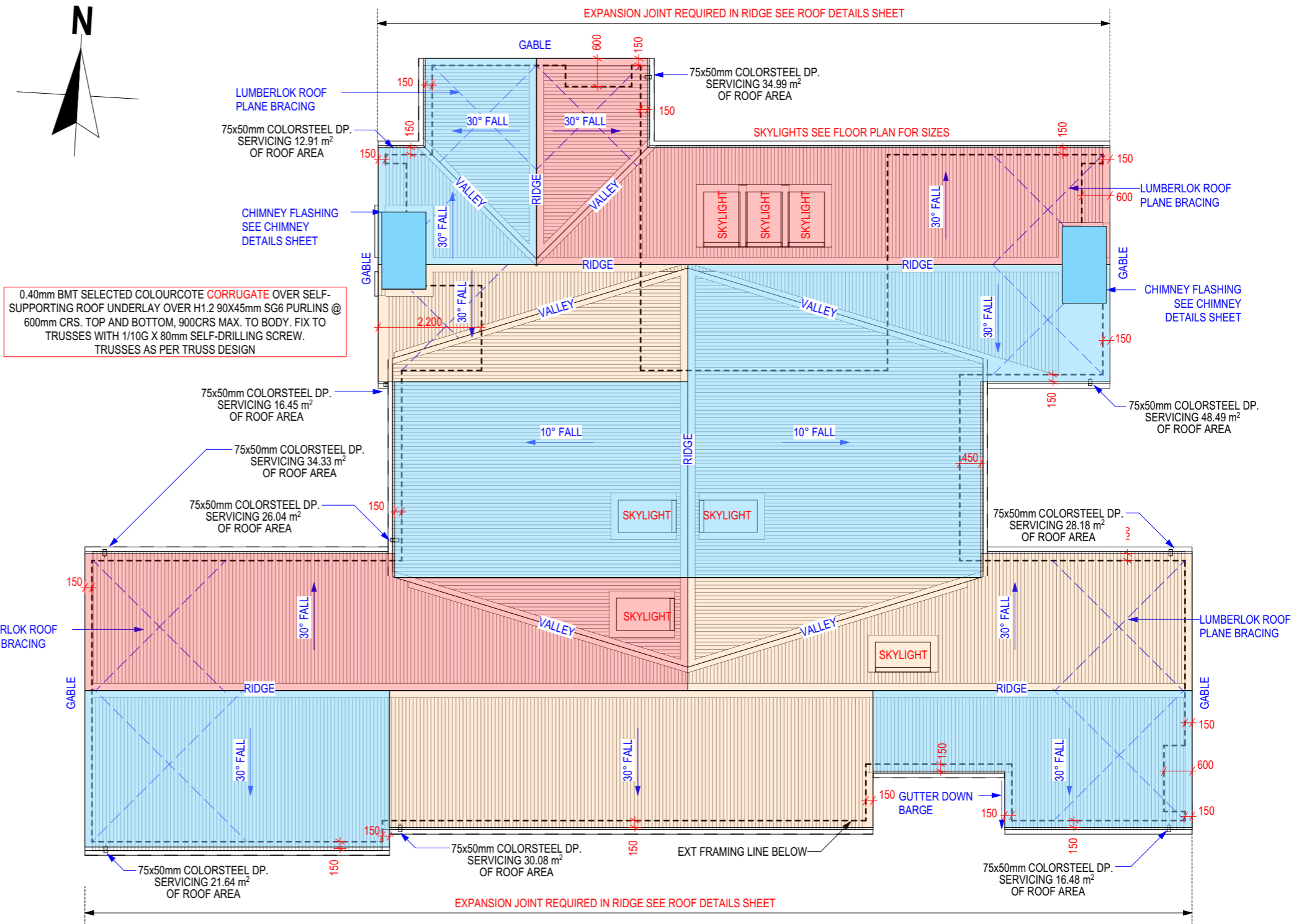
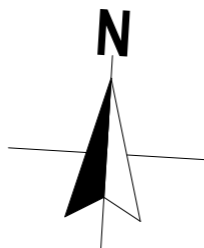
ROOF BRACING TO BE 8.0KN DIAGONALLY OPPOSED INTERSECTING STEEL STRAPS FIXED TO TOP CHORD & TOP PLATE AS PER NZS3604:2011, SECTION 10.3, 10.4 AS PER TO TRUSS MANUFACTURER'S DESIGN.

GENERAL KEY:

LUMBERLOK STRIP ROOF BRACING AS PER 3604:



GUTTER FALL: → → → → →



ROOF PLAN
SCALE 1:100 @A3

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