



ARTIST IMPRESSION ONLY

PROPOSED NEW RESIDENCE

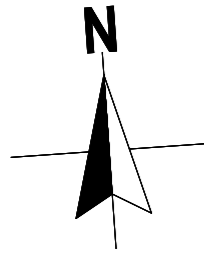
FOR

Mike Greer Homes Ltd



ARTIST IMPRESSION ONLY

IMPORTANT NOTE: ALL LANDSCAPING, PLANTING, LIGHTING AND FENCING IS SHOWN FOR IMAGING PURPOSES ONLY. REFER TO BUILDING CONTRACT AND "FIXTURES AND FITTINGS" FOR LANDSCAPING INCLUSIONS



GENERAL NOTES

Site Area 700m²
 Floor Area over Framing 216.28 m²
 Floor Area over Foundation 209.77 m²
 Site Coverage Area 215.63 m²
 Site Coverage 29.9% (45% Allowable)
 Impervious Surface Area 86.14 m²

Exposure Zone C
 Wind Zone HIGH
 Earthquake Zone 2
 Snow Zone N3

Territorial Authority MDC
 Planning Zone Residential

General: Concept subject to TA rules and regulations.
 All dimensions to be confirmed on site
 Concept may be subject to subdivision developer's approval

Foundation Type: Engineered

Site Information: Position of road crossing, services locations, street trees, lamp posts, parking bays, pedestrian islands etc is unknown - to be confirmed when information becomes available.

Landscaping: This plan is indicative only.
 Landscaping to be confirmed by the client.
 All Fencing to comply with the relevant Covenants.
 Refer to Landscape Architects Plan.

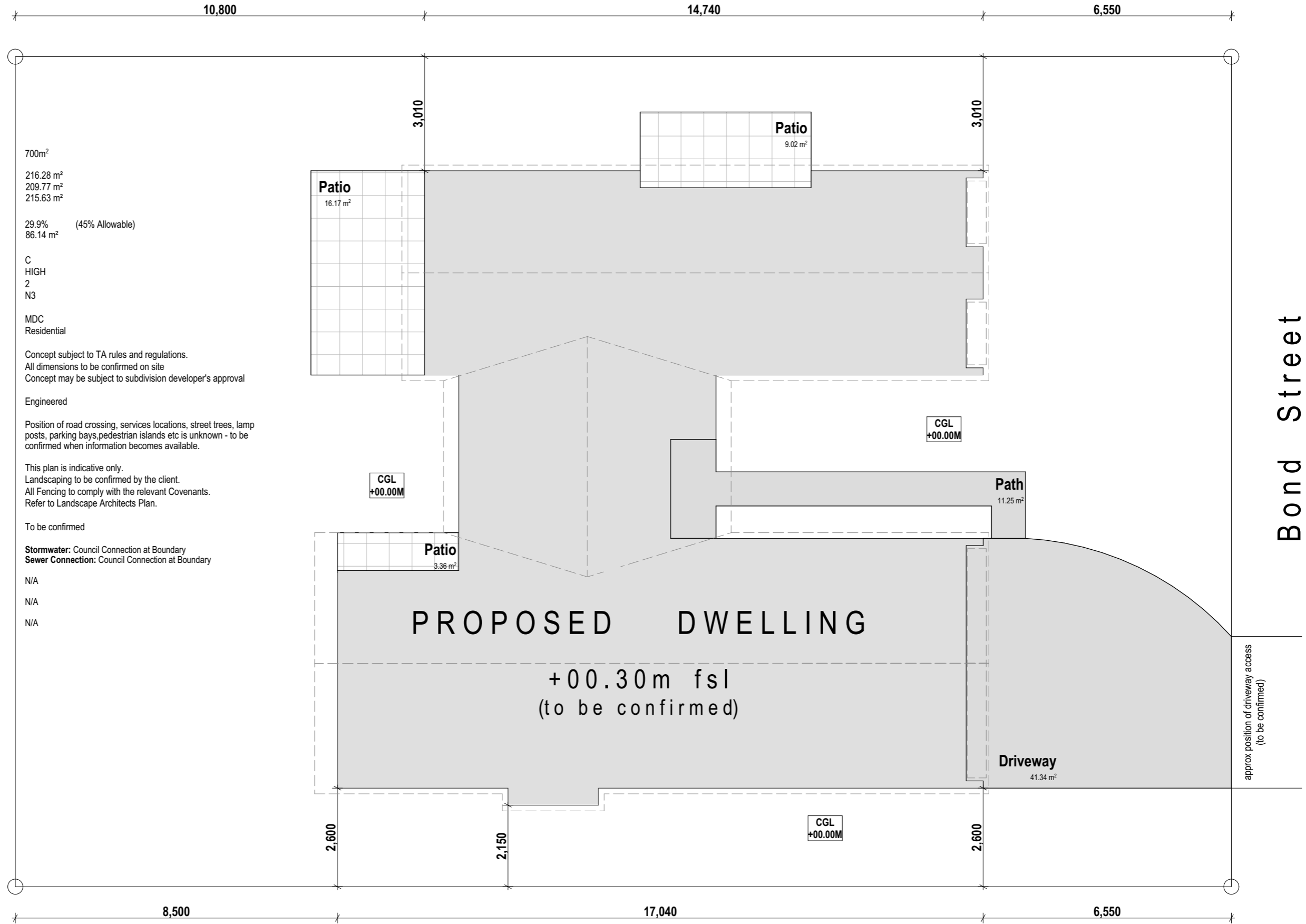
Boundary Information: To be confirmed

Site Services: **Stormwater:** Council Connection at Boundary
Sewer Connection: Council Connection at Boundary

Non Compliances Requiring RC: N/A

Covenant Non Compliances: N/A

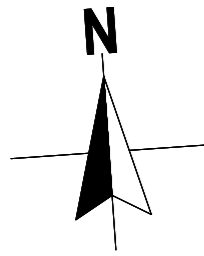
Extras: N/A



Bond Street

approx position of driveway access
(to be confirmed)

<p>© Mike Greer Homes NZ Ltd Office: 3/321 Lower Queen Street, Richmond, Nelson Showhome: 1 Piwakawaka Drive, Stoke P O Box 3710, Richmond 7050 P 03 544 7873</p>	JOB TITLE: Mike Greer Homes Ltd	DRAWING TITLE: Site Plan	LEGAL DESCRIPTION: LOT: 126 DP: TBC Bond St	LEGAL NOTES: 1. Subject to council approval 2. All measurements to be confirmed on site by the contractor prior to the commencement of work. <small>© 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited</small>	EXP ZONE: C	DES: JP	WIND ZONE: HIGH	JOB # ML0073
	<small>IMPORTANT NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS</small>	VERSION: 2	TECH: TBC	DATE OF ISSUE: 2/10/2023	SHEET: SK-02			



GENERAL NOTES

FLOOR AREA OVER FRAMING:
Perimeter (Over Foundation)

216.28m²
89,46m

Roof Pitch 30° main roof, 10° transition
Eaves Width 150/400mm
Gable Width 600mm
Height To Underside Of Truss 2460mm
Heel Height by truss designer, ensure fascias match

Lintel Height 2130mm
Soffit Height flat
Soffit Type flat

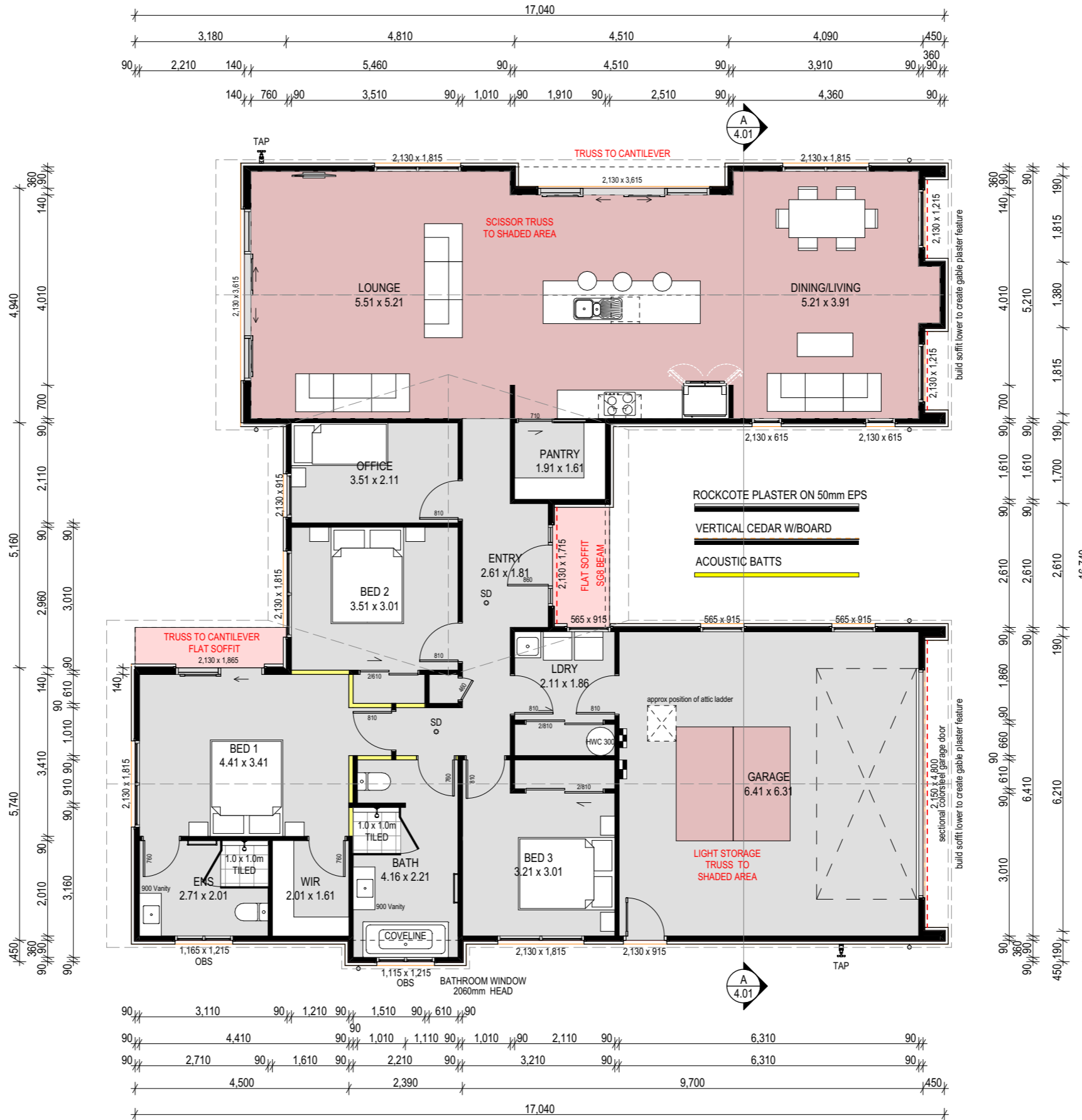
Raised ceiling n/a
Raking ceiling lounge, kitchen, dining/living

Internal Door Leaf Height standard

Roofing Materials colorcote longrun roofing

Engineering: foundation

Extras: n/a



Ground Floor Plan

SCALE 1:100 @A3

mikegreerhomes
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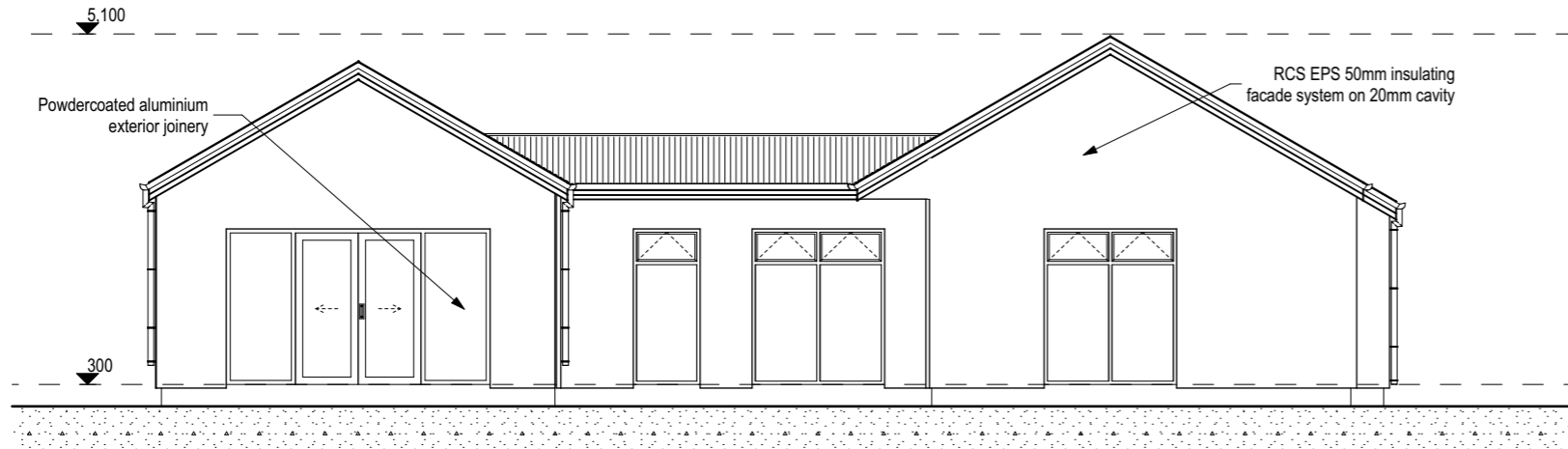
DRAWING TITLE:
Ground Floor Plan

LEGAL DESCRIPTION:
LOT: 126 DP: TBC
Bond St

LEGAL NOTES:
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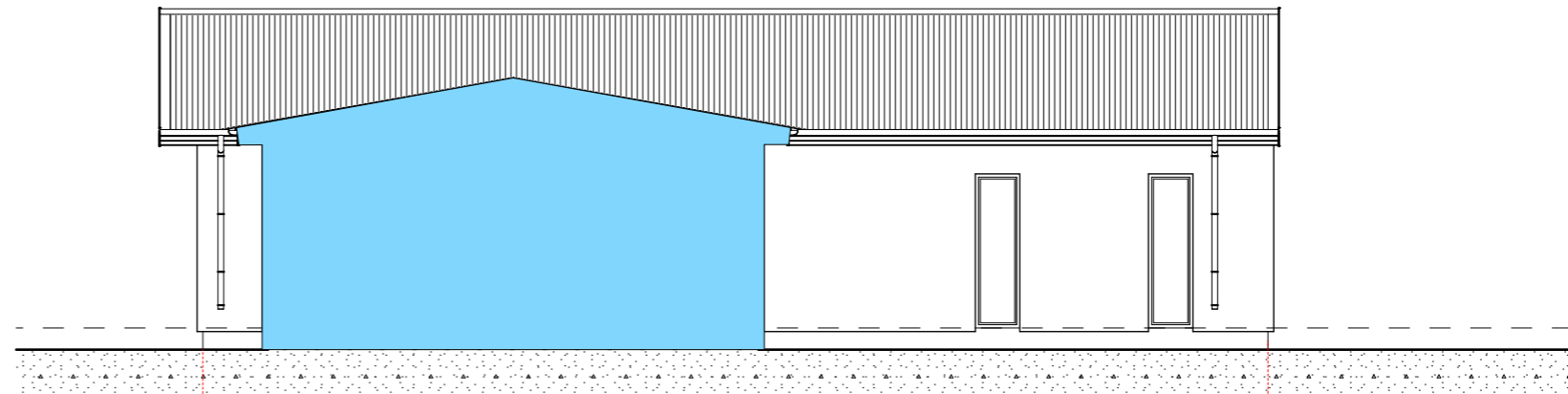
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IMPORTANT NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS



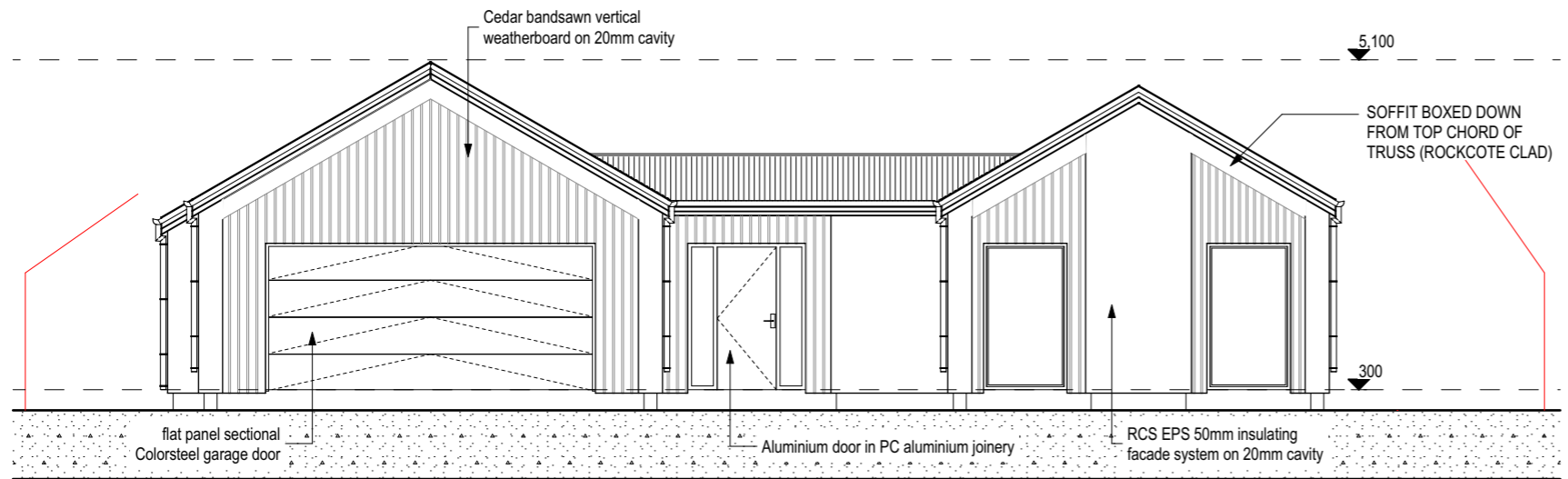
West Elevation

SCALE 1:100 @A3



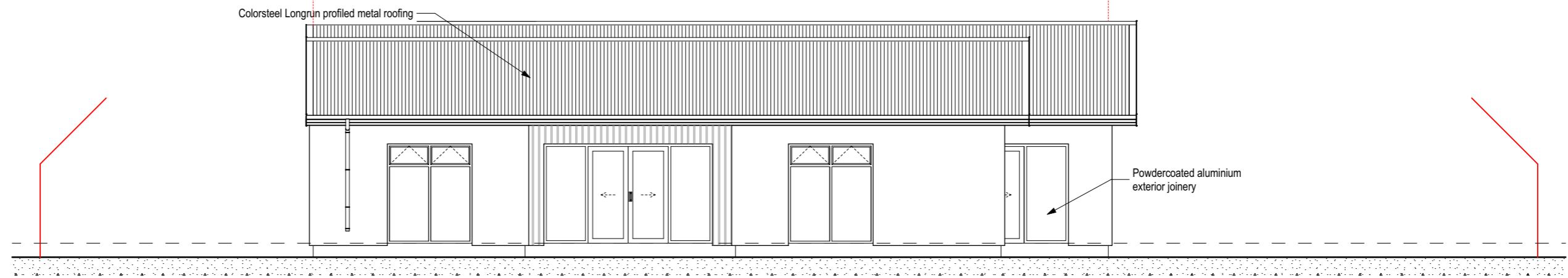
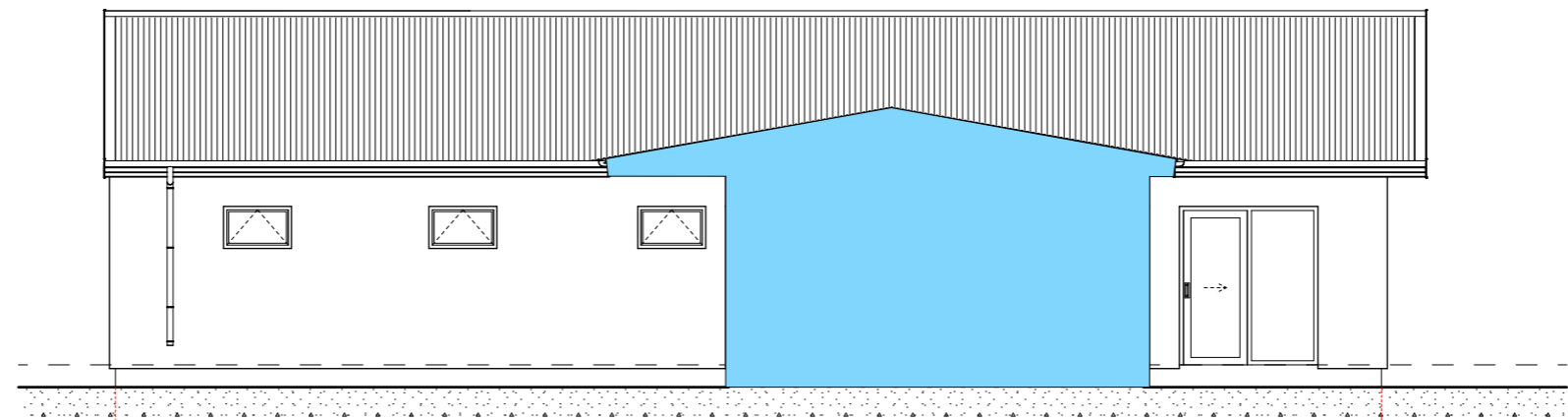
South Elevation

SCALE 1:100 @A3



East Elevation

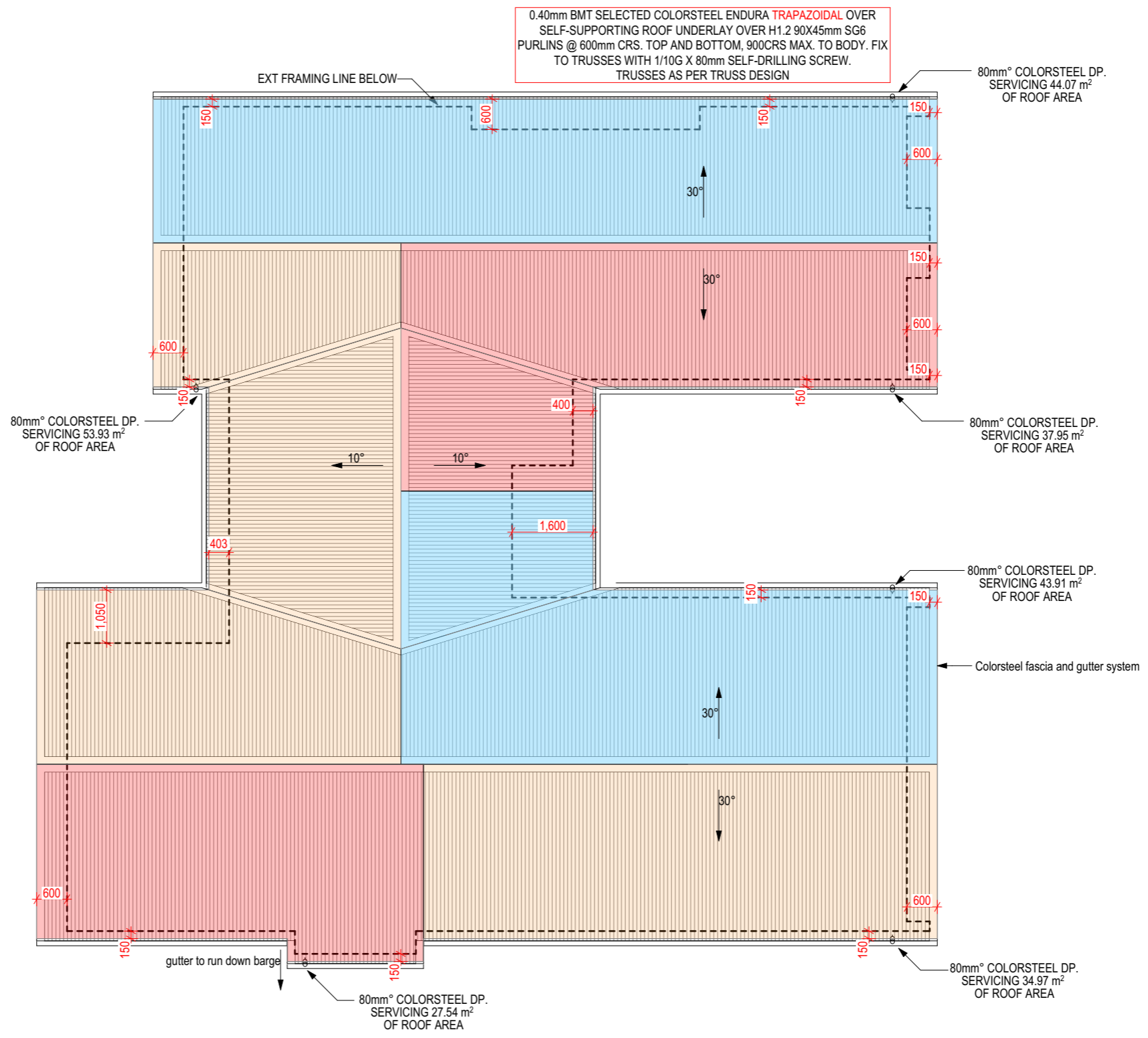
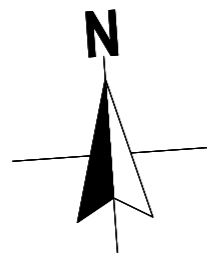
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North Elevation

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	<p>IMPORTANT NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS</p>	<p>Bond St</p>	<p>© 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited</p>	<p>VERSION: 2</p>	<p>TECH: TBC</p>	<p>DATE OF ISSUE: 2/10/2023</p>	<p>SHEET: SK-05</p>	



Roof Plan
SCALE 1:100 @A3

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INSULATION CALC DOES NOT INCLUDE GARAGE AREA (BATTS REQUIRED TO INTERNAL WALLS BETWEEN GARAGE AND HOUSE. SLAB AREA PERIMETER CORRECTION APPLIED)



H1/AS1 5th Edition Calculation Method Spreadsheet - Results

Version: 4 May 2023

Client			
Project name			
Address			
Designer			
Date	07.09.23		
Territorial Authority	Marlborough District	Climate Zone	3
When submitted	Before 2 November 2023	Application	Housing

Proposed Building		
Element	Area (m ²)	Proposed Building Heat Loss (W/K)
Slab Floors	167.0	109.9
Other Floors	0.0	0.0
Roof	167.0	22.3
Skylights	0.0	0.0
Walls	117.8	52.6
Glazing (walls & doors) (30.8% of total wall area)	53.1	115.6
Doors (opaque)	1.8	3.3
	506.8	Total 303.5

Reference Building		
Element	Area (m ²)	Reference Building Heat Loss (W/K)
Slab Floors	167.0	1.5
Other Floors	0.0	2.5
Total Roof (includes skylight area)	167.0	6.6
Walls (70% of total wall area)	120.9	2.0
Glazing allowance (30% of total wall area)	51.8	0.46
	506.8	Total 309.8

Comparison of proposed building against the reference building

PASS

Element type	Description	Embed heating?	Area (m ²)	Construction R-value (m ² .K/W)	Heat Loss (W/K)	
1	Slab Floors	Waffle + Edge Ins	No	167.0	1.5	109.9
2	Roof	2 Layers 3.6 Batts	No	167.0	7.5	22.3
3	Walls	Rockcote 2.6 Batts	No	102.0	2.3	43.6
4	Walls	Internal 2.6 Batts	No	15.8	1.8	9.0
5	Glazing (walls & doors)			1.9	0.46	4.2
6	Glazing (walls & doors)			1.3	0.46	2.8
7	Glazing (walls & doors)			1.3	0.46	2.8
8	Glazing (walls & doors)			2.6	0.46	5.6
9	Glazing (walls & doors)			2.6	0.46	5.6
10	Glazing (walls & doors)			3.9	0.46	8.4
11	Glazing (walls & doors)			7.7	0.46	16.7
12	Glazing (walls & doors)			3.9	0.46	8.4
13	Glazing (walls & doors)			7.7	0.46	16.7
14	Glazing (walls & doors)			1.9	0.46	4.2
15	Glazing (walls & doors)			3.9	0.46	8.4
16	Glazing (walls & doors)			4.0	0.46	8.6
17	Glazing (walls & doors)			3.9	0.46	8.4
18	Glazing (walls & doors)			1.4	0.46	3.1
19	Glazing (walls & doors)			1.4	0.46	2.9
20	Glazing (walls & doors)			3.9	0.46	8.4
21	Doors (opaque)			1.8	0.56	3.3

ALLTHOUGH NOT INCLUDED IN CALC GARAGE IS TO BE INSULATED
42.2m² R3.6 BATTS TO ROOF
33.1m² R2.6 BATTS TO WALLS
 SLAB SAME INSULATION AS HOUSE SAME AREA AS GARAGE ROOF
 GLASS CONSTRUCTION VALUE SEE TABLE E.1.1.1.1 OF H1 FIFTH EDITION
 0.37 THERMALLY IMPROVED
 0.46 THERMALLY BROKEN
 OPAQUE DOOR VALUE 0.56 (PARKWOOD THERMATECH)

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