

# PROPOSED NEW RESIDENCE

**MGH**



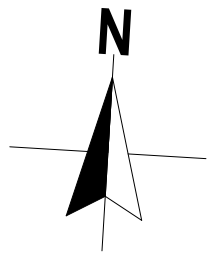
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ARTIST IMPRESSION ONLY

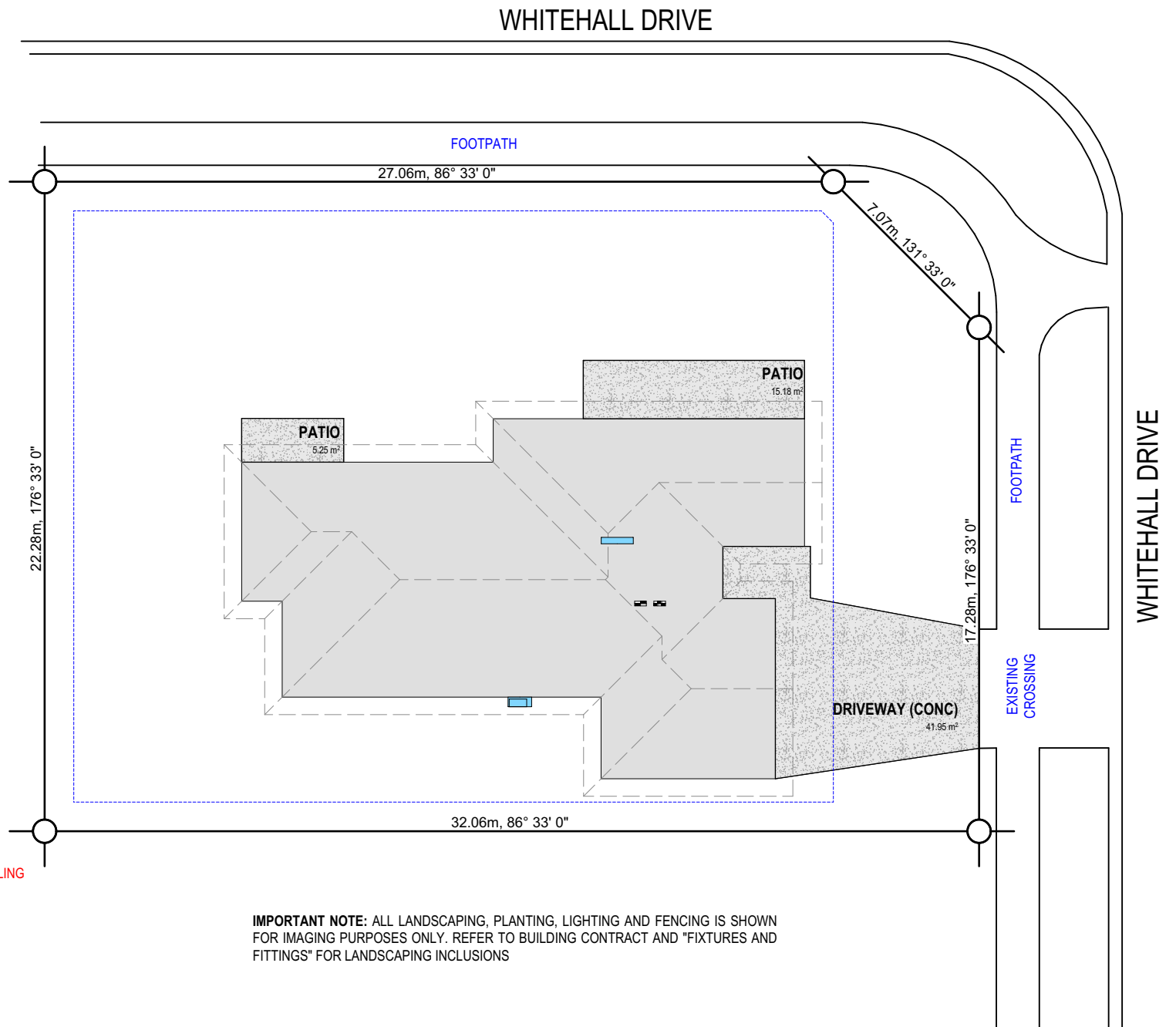
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 © Mike Greer Homes NZ Ltd Office: 3/321 Lower Queen Street, Richmond, Nelson P O Box 3710, Richmond 7050 P 03 544 7873	JOB TITLE: <b>MGH</b>	DRAWING TITLE: <b>COVER INDEX</b>	LEGAL DESCRIPTION: LOT: 124 DP:570929 2 BOND STREET	LEGAL NOTES: 1. Subject to council approval 2. All measurements to be confirmed on site by the contractor prior to the commencement of work.  © 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited.	EXP ZONE: B	DES: TC	WIND ZONE: HIGH	JOB # ML0071
	IMPORTANT NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS		VERSION: 1.1	TECH: TBC	DATE OF ISSUE: 14/12/2023	SHEET: SK-01		



**GENERAL NOTES**

SITE AREA	700m <sup>2</sup>
FLOOR AREA OVER FRAMING	179.37 m <sup>2</sup>
FLOOR AREA OVER FOUNDATION	175.33 m <sup>2</sup>
SITE COVERAGE AREA (OVER FOUNDATION INCL. COVERED AREAS)	177.48 m <sup>2</sup>
SITE COVERAGE	25% (?% ALLOWABLE)
EXPOSURE ZONE	B
WIND ZONE	HIGH
EARTHQUAKE ZONE	3
TERRITORIAL AUTHORITY PLANNING ZONE	MDC URBAN RESIDENTIAL 2
<b>GENERAL:</b>	CONCEPT SUBJECT TO TA RULES AND REGULATIONS. ALL DIMENSIONS TO BE CONFIRMED ON SITE CONCEPT MAY BE SUBJECT TO SUBDIVISION DEVELOPER'S APPROVAL
<b>FOUNDATION TYPE:</b>	WAFFLEPOD(WAFFLEPOD)
<b>SITE INFORMATION:</b>	POSITION OF ROAD CROSSING, SERVICES LOCATIONS, STREET TREES, LAMP POSTS, PARKING BAYS, PEDESTRIAN ISLANDS ETC IS UNKNOWN - TO BE CONFIRMED WHEN INFORMATION BECOMES AVAILABLE.
<b>LANDSCAPING:</b>	THIS PLAN IS INDICATIVE ONLY. LANDSCAPING TO BE CONFIRMED BY THE CLIENT. ALL FENCING TO COMPLY WITH THE RELEVANT COVENANTS. REFER TO LANDSCAPE ARCHITECTS PLAN.
<b>BOUNDARY INFORMATION:</b>	TO BE CONFIRMED WITH RELEASE OF CERTIFICATE OF TITLE?  CONFIRMED WITH CERTIFICATE OF TITLE?
<b>SITE LEVELS:</b>	LEVELS AND OTHER RELEVANT SITE INFORMATION FOR THIS SITE TO BE OBTAINED AND CONCEPT UPDATED AS REQUIRED PRIOR TO A CONTRACT BEING SIGNED?  LEVELS OBTAINED?
<b>SITE SERVICES:</b>	<b>STORMWATER:</b> COUNCIL CONNECTION AT BOUNDARY/SOAKPIT/RETENTION TANK/GREY WATER RECYCLING <b>SEWER CONNECTION:</b> COUNCIL CONNECTION AT BOUNDARY/ECOFLOW TANK/SEPTIC TANK

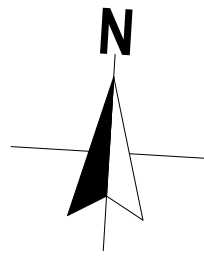


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**SITE PLAN**

SCALE 1:200 @A3

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**GENERAL NOTES**  
 FLOOR AREA OVER CLADDING: 179.37m<sup>2</sup>  
 PERIMETER (OVER FOUNDATION) 66,920.0 mm

ROOF PITCH 25°  
 EAVES WIDTH 600mm  
 GABLE WIDTH 600mm  
 HEIGHT TO UNDERSIDE OF TRUSS 2460mm  
 LINTEL HEIGHT 2130mm  
 SOFFIT HEIGHT 2145mm  
 SOFFIT TYPE FLAT

INTERNAL DOOR LEAF HEIGHT STANDARD 2045 RO OR OVERHEIGHT

LININGS GIB(10mm TO WALLS 13mm TO CEILINGS)  
 CEILING BATTENS 35mm METAL CEILING BATTENS DIRECT FIXED @ 600mm CRS

HEATING: HEAT PUMP TO BE FIXED IN POSITION SHOWN ON THE DRAWINGS. REFER TO SPECIFICATIONS FOR MORE INFORMATION.

CEILING VENTS: BATHROOM, ENSUITE & LAUNDRY TO VENTED DIRECTLY TO EXTERIOR RANGE HOOD TO EXIT THROUGH SOFFIT LINING

SMOKE ALARMS: REQUIRED WITHIN 3m OF ALL SLEEPING AREAS, CHANGE IN LEVEL & ENTRY/EXITS AS PER NZS 4514 & BRANZ BULLETINS NO'S 606

**ADDITIONAL FLOOR PLAN NOTES:**  
 - ALL GLAZING TO COMPLY WITH NZS4223  
 - ALL HARD FLOOR FINISHES AT MAIN ENTRANCE TO COMPLY WITH NZBC D1/AS TABLE 2.  
 - HOT WATER PIPES TO BE SIZED ACCORDING TO NZBC G12 & NZS4305:1996. MAINS PRESSURE: 15mm DIA. ALLOWS 12m MAX. PIPE LENGTH. PIPE LENGTH BEYOND THIS MUST BE LAGGED.  
 - SATIN ENAMEL WALL FINISH TO BATHROOM, ENSUITE & THOSE WALLS ADJACENT TO SINKS ETC. IN KITCHEN & LAUNDRY. IMPERVIOUS LINING TO BE USED ABOVE BASINS, VANITIES & BENCHES. BOTTOM EDGE TO BE FILLED WITH FUNGUS/MOULD RESISTANT SEALANT.  
 -ENSURE ALL SPACES WITHIN THE BUILDING ARE PROVIDED WITH ADEQUATE ARTIFICIAL LIGHTING (MIN. 20 LUX AT FLOOR LEVEL) TO ENABLE SAFE MOVEMENT IN THE ABSENCE OF NATURAL LIGHT  
 -ALL DOWNLIGHTS FITTED TO HOUSE ARE TO BE IC-F CLASS (INSULATION OVER)

**WATER PROOFING MEMBRANE NOTE:**  
 SELECTED WATERPROOFING MEMBRANE REQUIRED TO BATHROOMS & REBATED/LEVEL ACCESS SHOWERS.

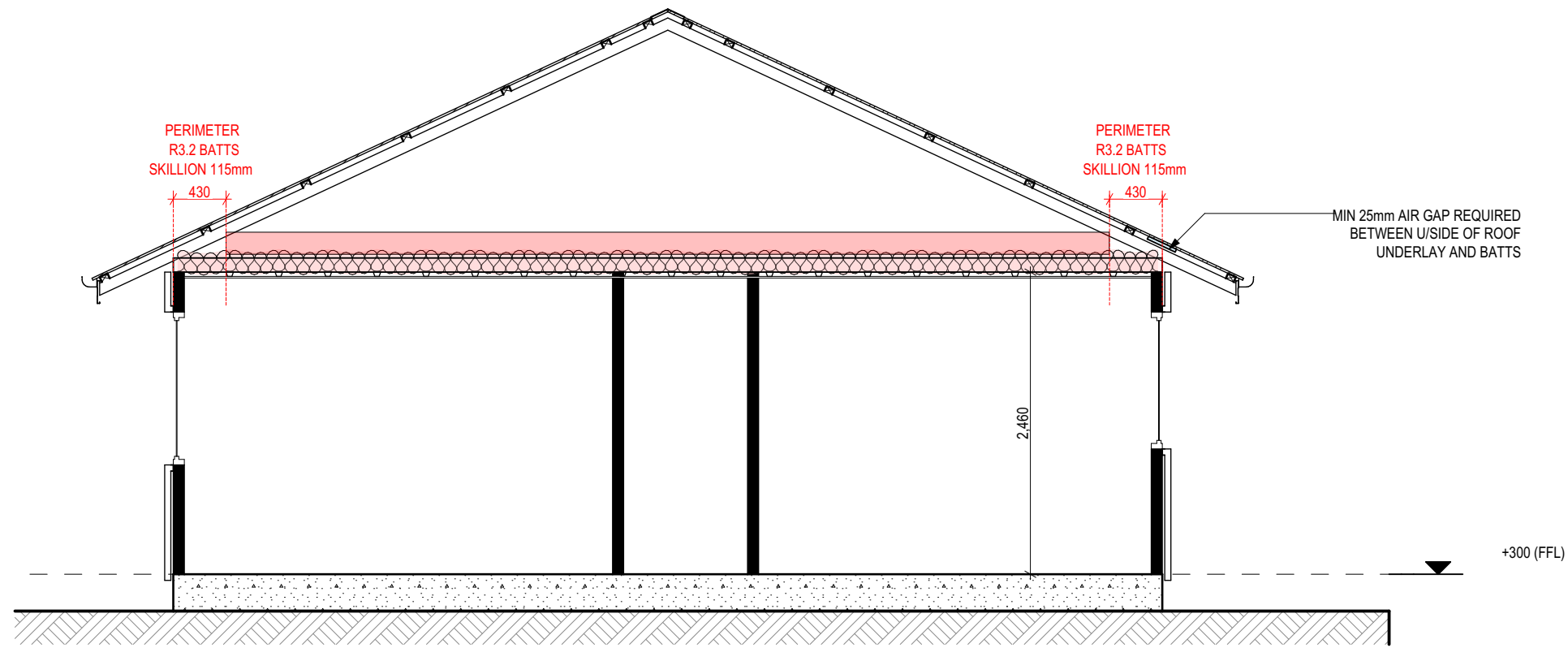


## FLOOR PLAN

SCALE 1:100 @A3

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**SECTION AA**

SCALE 1:50 @A3

**INSULATION CALC DOES NOT INCLUDE GARAGE AREA (BATTS REQUIRED TO INTERNAL WALLS BETWEEN GARAGE AND HOUSE. SLAB AREA PERIMETER CORRECTION APPLIED)**

GLASS CONSTRUCTION VALUE SEE TABLE E.1.1.1.1 OF H1 FIFTH EDITION  
 0.37 THERMALLY IMPROVED  
 0.46 THERMALLY BROKEN  
 OPAQUE DOOR VALUE 0.56 (PARKWOOD THERMATECH)

**BRANZ H1/AS1 5<sup>th</sup> Edition Calculation Method Spreadsheet - Results**

Version: 21-Oct-2022

<b>Client</b>	MGH	
<b>Project name</b>	ML0071	
<b>Address</b>	2 BOND STREET	
<b>Designer</b>	TC	
<b>Date</b>	10.03.23	
<b>Territorial Authority</b>	Marlborough District	<b>Climate Zone</b> 3
<b>When submitted</b>	Before 2 November 2023	<b>Application</b> Housing

Element	Area (m <sup>2</sup> )	Proposed Building Heat Loss (W/K)
Slab Floors	137.0	93.8
Other Floors	0.0	0.0
Roof	137.0	21.9
Skylights	0.0	0.0
Walls	102.4	46.9
Glazing (walls & doors) (23.8% of total wall area)	32.4	70.5
Doors (opaque)	1.7	3.0
<b>Total</b>	<b>410.5</b>	<b>236.2</b>

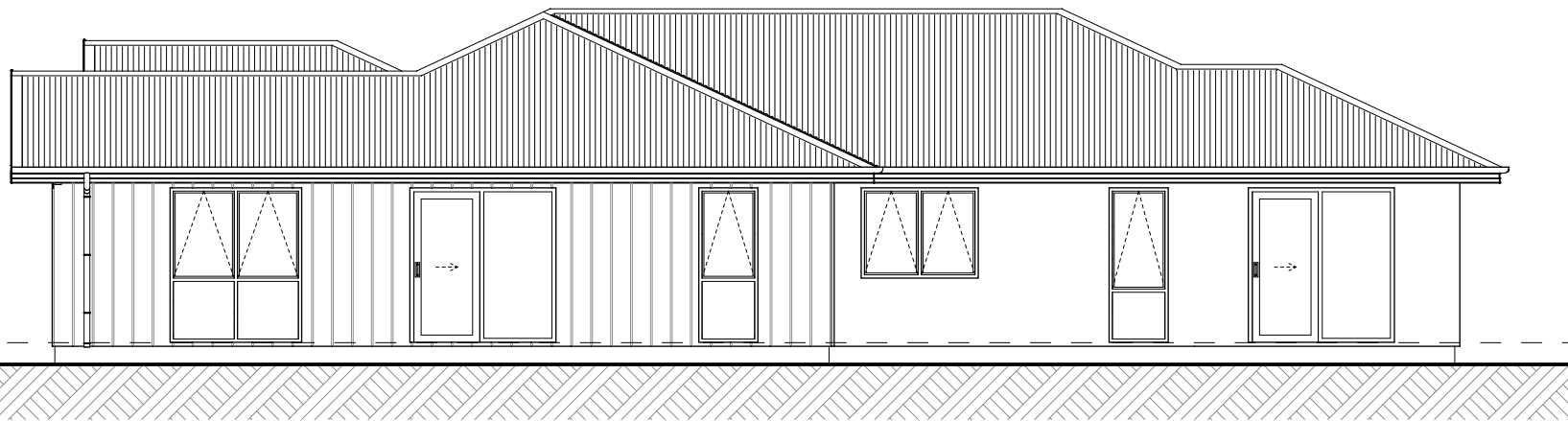
Element	Area (m <sup>2</sup> )	Reference Building Heat Loss (W/K)
Slab Floors	137.0	91.3
Other Floors	0.0	0.0
Total Roof (includes skylight area)	137.0	20.8
Walls (70% of total wall area)	95.6	47.8
Glazing allowance (30% of total wall area)	41.0	89.0
<b>Total</b>	<b>410.5</b>	<b>248.9</b>

Comparison of proposed building against the reference building

**PASS**

Element type	Description	Embed heating?	Area (m <sup>2</sup> )	Construction R-value (m <sup>2</sup> .K/W)	Heat Loss (W/K)	Errors	
1	Slab Floors	Wafflepod	No	137.0	1.5	93.8	
2	Roof	MAIN 2 X R3.6	No	118.0	7.3	16.2	
3	Roof	PERIMETER 1XR3.6	No	19.0	3.4	5.6	
4	Walls	ROCK X GOLD R2.6	No	49.6	2.9	17.0	
5	Walls	OBLIQUE R2.6	No	33.6	1.8	19.0	
6	Walls	INTERNAL R2.6	No	19.2	1.8	10.9	
7	Glazing (walls & doors)	ENTRY SIDE		1.7	0.46	3.8	
8	Glazing (walls & doors)			1.7	0.46	3.8	
9	Glazing (walls & doors)			1.7	0.46	3.8	
10	Glazing (walls & doors)			3.9	0.46	8.4	
11	Glazing (walls & doors)			4.3	0.46	9.3	
12	Glazing (walls & doors)			1.7	0.46	3.8	
13	Glazing (walls & doors)			1.0	0.46	2.2	
14	Glazing (walls & doors)						
15	Glazing (walls & doors)			0.8	0.46	1.7	
16	Glazing (walls & doors)			1.7	0.46	3.8	
17	Glazing (walls & doors)			4.3	0.46	9.3	
18	Glazing (walls & doors)			1.0	0.46	2.2	
19	Glazing (walls & doors)			1.0	0.46	2.2	
20	Glazing (walls & doors)			2.0	0.46	4.4	
21	Glazing (walls & doors)			1.0	0.46	2.2	
22	Glazing (walls & doors)			1.8	0.46	3.9	
23	Glazing (walls & doors)			1.8	0.46	3.9	
24	Glazing (walls & doors)			0.9	0.46	2.0	
25	Doors (opaque)						
26	Doors (opaque)			1.7	0.56	3.0	

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**NORTH**  
SCALE 1:100 @A3

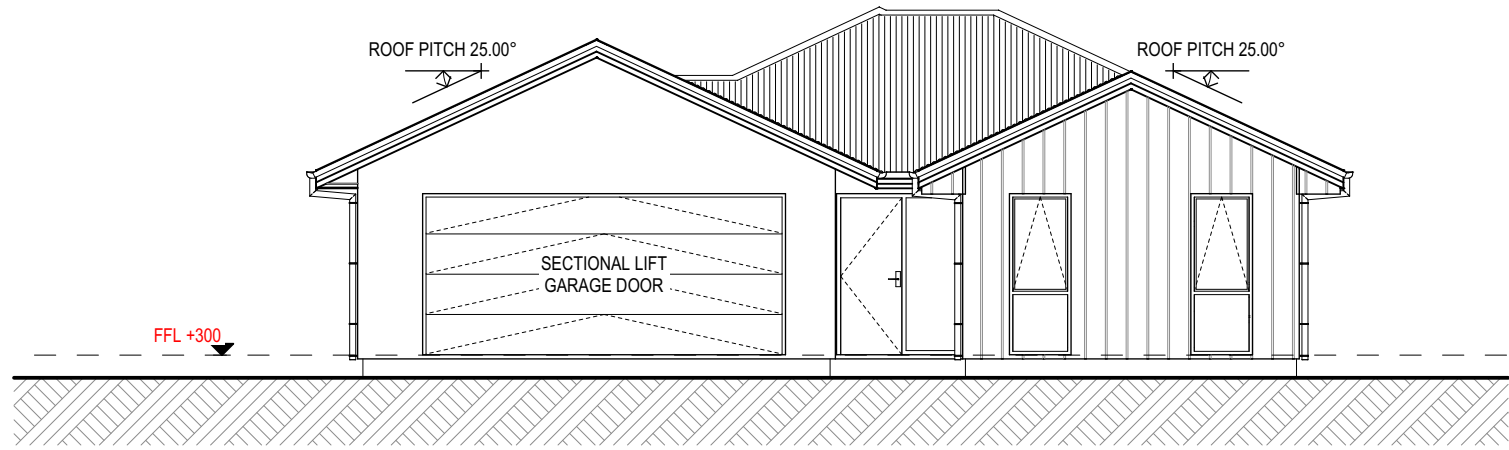
**JOINERY**  
- ALL JOINERY FROM DOUBLE GLAZED(EXCEPT GARAGE) POWDER COATED ALUMINIUM. TO COMPLY WITH NZS4223..JOINERY MANUFACTURER TO VERIFY ALL SIZES ON SITE, SIZES NOMINATED ON FLOOR PLAN ARE OPENING SIZES JOINER AND OWNER ALL TO AGREE CONFIGURATION OF GLAZING PRIOR TO MANUFACTURE. DOOR PANEL SIZES MAY NOT BE EVEN WIDTHS AS SHOWN IN THESE ELEVATIONS  
0 = OPAQUE GLASS - VERIFY WITH OWNER  
S.G. = SAFETY GLASS REQ.  
R.S. = RESTRICTOR STAYS

**CLADDING GENERAL**  
SOME CLADDING PRODUCTS REQUIRE HORIZONTAL OR VERTICAL JOINERS THAT WILL NOT BE SHOWN IN ELEVATIONS

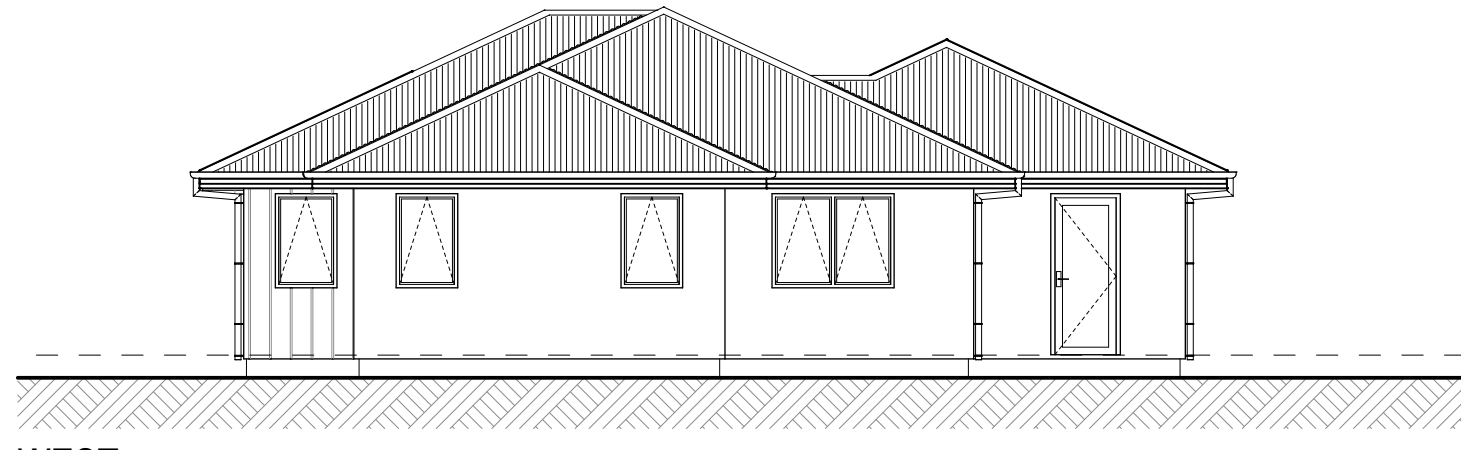
**RCS ROCKCOTE MODIFIED PLASTER**  
MESH REINFORCED PLASTER OVER 50mm XTHERM GOLD ON CAVITY BATTEN SYSTEM OVER BUILDING WRAP TO FRAMING.

**CONTROL JOINTS TO OCCUR**  
WHERE THE WALL LENGTH IS GREATER THAN 8 METRES IN LENGTH A CONTROL JOINT WILL NEED TO BE INSTALLED OR WHERE A TWO STOREY DWELLING WALL HEIGHT EXCEEDS 6 METRES A HORIZONTAL CONTROL JOINT IS REQUIRED

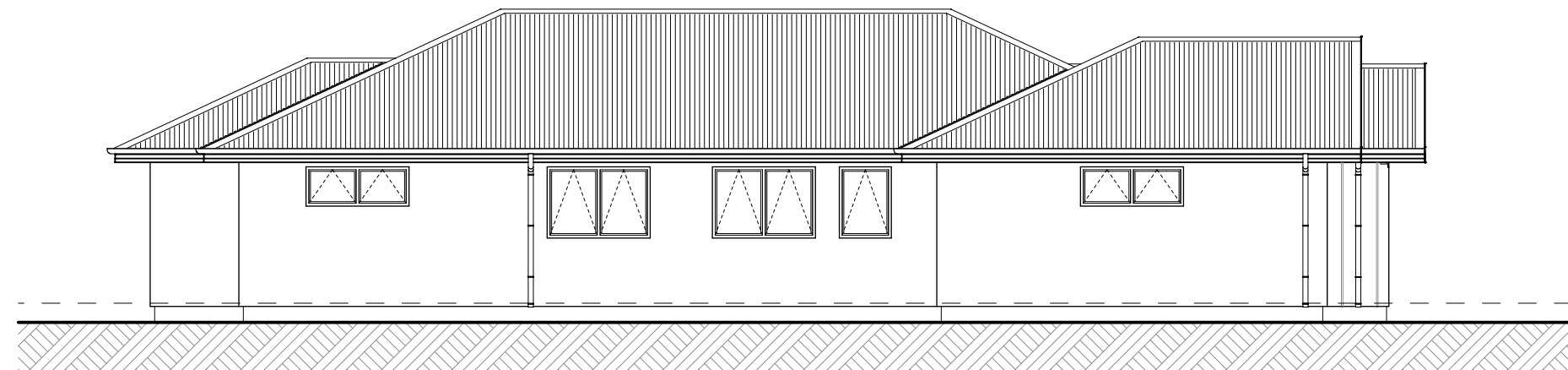
**JH OBLIQUE W/BOARD (VERTICAL) 300mm WIDTH**  
JAMES HARDIE OBLIQUE W/BOARD ON 20mm CAVITY OVER BUILDING WRAP TO FRAME SEE FIXING DETAILS IN ATTACHED SPECIFICATION.



**EAST**  
SCALE 1:100 @A3



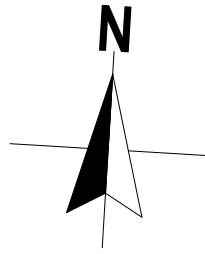
**WEST**  
SCALE 1:100 @A3



**SOUTH**  
SCALE 1:100 @A3

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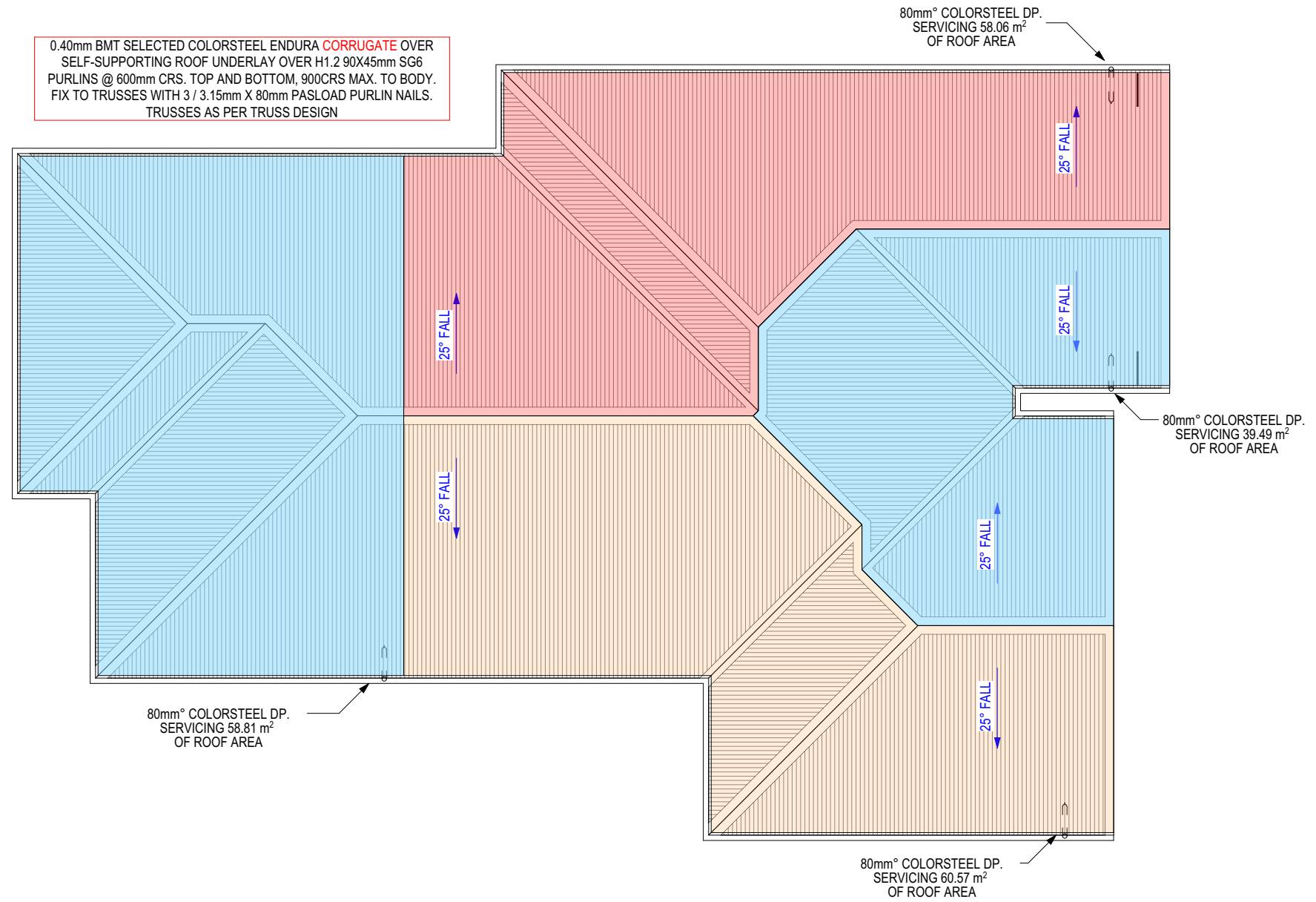




**GENERAL NOTES**

AREA OVER ROOF (ON FLAT) TO FACE OF FASCIA: 226.28 m<sup>2</sup>

0.40mm BMT SELECTED COLORSTEEL ENDURA CORRUGATE OVER SELF-SUPPORTING ROOF UNDERLAY OVER H1.2 90X45mm SG6 PURLINS @ 600mm CRS. TOP AND BOTTOM, 900CRS MAX. TO BODY. FIX TO TRUSSES WITH 3 / 3.15mm X 80mm PASLOAD PURLIN NAILS. TRUSSES AS PER TRUSS DESIGN



**ROOF PLAN**

SCALE 1:100 @A3

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