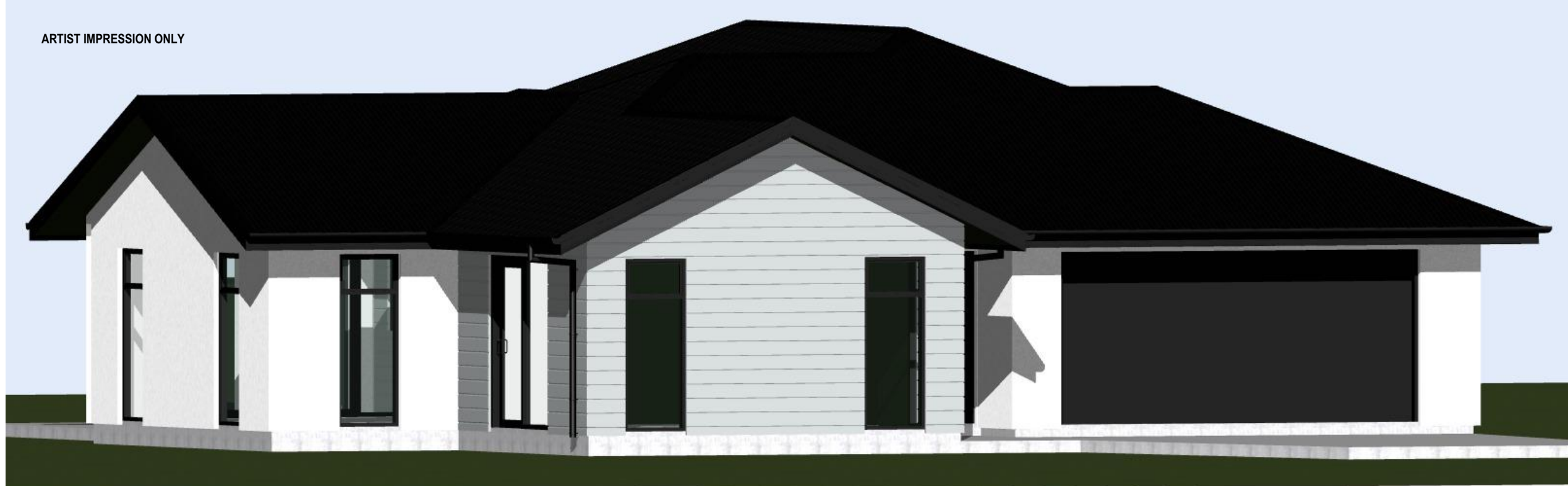


PROPOSED NEW RESIDENCE

MGH

ARTIST IMPRESSION ONLY



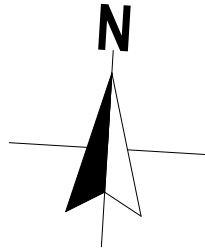
SHEET INDEX

SK-01	COVER INDEX
SK-02	SITE PLAN
SK-03	FLOOR PLAN
SK-04	SECTION AA / H1 CALC
SK-05	ELEVATIONS
SK-06	ROOF PLAN

ARTIST IMPRESSION ONLY



IMPORTANT NOTE: ALL LANDSCAPING, PLANTING, LIGHTING AND FENCING IS SHOWN FOR IMAGING PURPOSES ONLY. REFER TO BUILDING CONTRACT AND "FIXTURES AND FITTINGS" FOR LANDSCAPING INCLUSIONS



GENERAL NOTES

SITE AREA	750m ²
FLOOR AREA OVER FRAMING	192.47 m ²
FLOOR AREA OVER FOUNDATION	187.88 m ²
SITE COVERAGE AREA (OVER FOUNDATION INCL. COVERED AREAS)	190.81 m ²

SITE COVERAGE 25% (?% ALLOWABLE)

EXPOSURE ZONE	B
WIND ZONE	HIGH
EARTHQUAKE ZONE	3
SNOW ZONE	N3

TERRITORIAL AUTHORITY MDC
PLANNING ZONE URBAN RESIDENTIAL 2

GENERAL: CONCEPT SUBJECT TO TA RULES AND REGULATIONS.
ALL DIMENSIONS TO BE CONFIRMED ON SITE
CONCEPT MAY BE SUBJECT TO SUBDIVISION DEVELOPER'S APPROVAL

FOUNDATION TYPE: ENGINEERED(WAFFLEPOD)

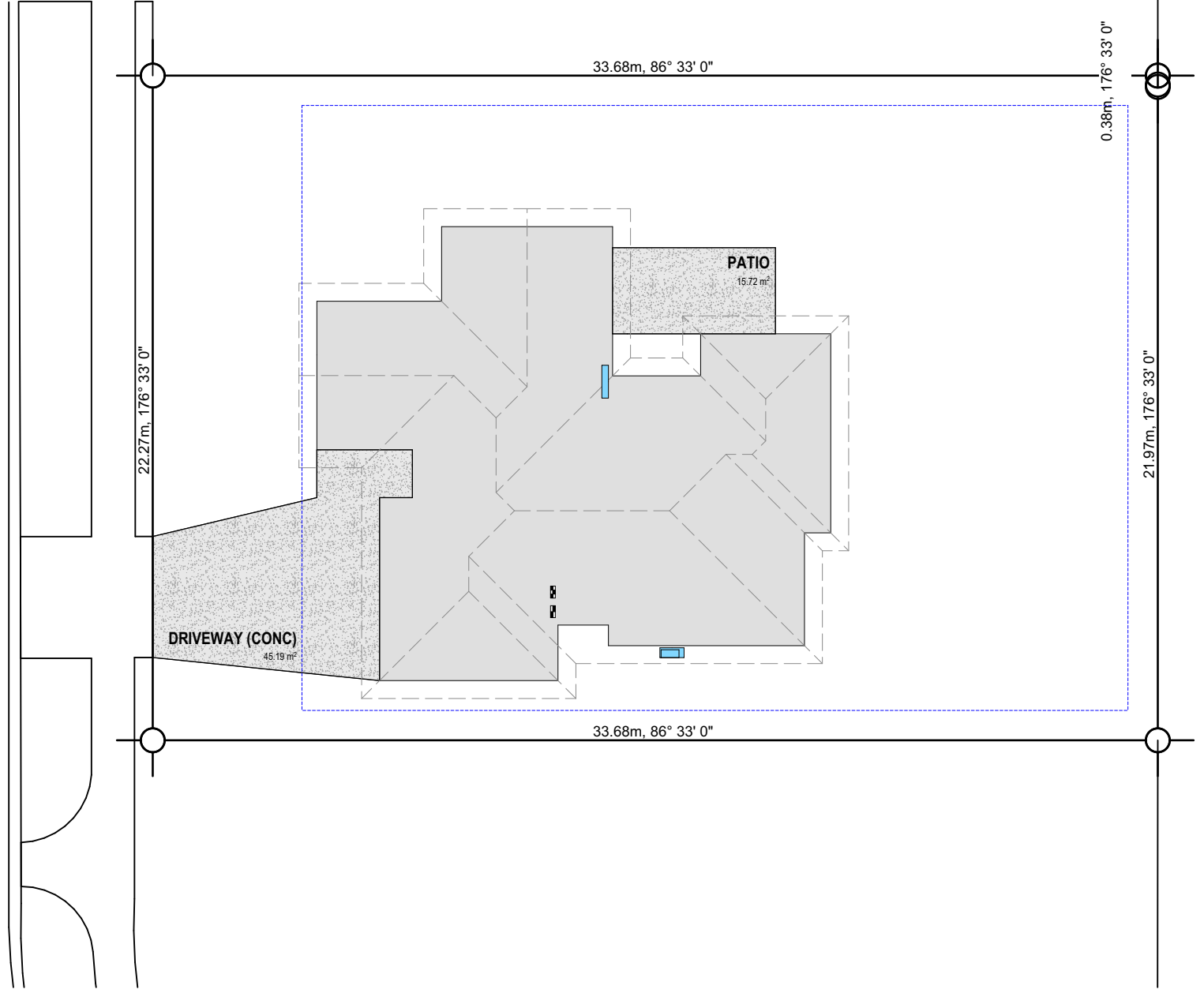
SITE INFORMATION: POSITION OF ROAD CROSSING, SERVICES LOCATIONS, STREET TREES, LAMP POSTS, PARKING BAYS, PEDESTRIAN ISLANDS ETC IS UNKNOWN - TO BE CONFIRMED WHEN INFORMATION BECOMES AVAILABLE.

LANDSCAPING: THIS PLAN IS INDICATIVE ONLY.
LANDSCAPING TO BE CONFIRMED BY THE CLIENT.
ALL FENCING TO COMPLY WITH THE RELEVANT COVENANTS.
REFER TO LANDSCAPE ARCHITECTS PLAN.

BOUNDARY INFORMATION: CONFIRMED WITH RELEASE OF CERTIFICATE OF TITLE

SITE LEVELS: LEVELS AND OTHER RELEVANT SITE INFORMATION FOR THIS SITE TO BE

SITE SERVICES: **STORMWATER:** COUNCIL CONNECTION AT BOUNDARY/SOAKPIT/RETENTION TANK/GREY WATER RECYCLING
SEWER CONNECTION: COUNCIL CONNECTION AT BOUNDARY/ECOFLOW TANK/SEPTIC TANK



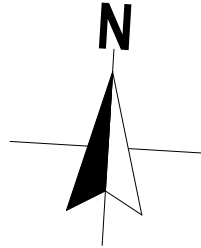
SITE PLAN

SCALE 1:200 @A3

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	<p>IMPORTANT NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS</p>	<p>VERSION: X</p>	<p>TECH: TBC</p>	<p>DATE OF ISSUE: 4/12/2023</p>	<p>SHEET: SK-02</p>			

- KEY:**
- SMOKE DETECTOR
 - METER BOARD
 - DISTRIBUTION BOARD
 - COMMS PANEL
 - GULLY TRAP
 - HOSE TAP
 - HT
 - DOWNPIPE
 - INTERNAL HEAT PUMP
 - EXTERNAL HEAT PUMP



GENERAL NOTES
 FLOOR AREA OVER CLADDING: 192.47m²
 PERIMETER (OVER FOUNDATION) 71,260.0 mm

ROOF PITCH 25°
 EAVES WIDTH 600mm
 GABLE WIDTH 600mm
 HEIGHT TO UNDERSIDE OF TRUSS 2460mm
 LINTEL HEIGHT 2130mm
 SOFFIT HEIGHT 2145mm
 SOFFIT TYPE FLAT

INTERNAL DOOR LEAF HEIGHT STANDARD 2045 RO OR OVERHEIGHT

LININGS GIB(10mm TO WALLS 13mm TO CEILINGS)
 CEILING BATTENS 35mm METAL CEILING BATTENS DIRECT FIXED @ 600mm CRS

HEATING: HEAT PUMP TO BE FIXED IN POSITION SHOWN ON THE DRAWINGS. REFER TO SPECIFICATIONS FOR MORE INFORMATION.

CEILING VENTS: BATHROOM, ENSUITE & LAUNDRY TO VENTED DIRECTLY TO EXTERIOR RANGE HOOD TO EXIT THROUGH SOFFIT LINING

SMOKE ALARMS: REQUIRED WITHIN 3m OF ALL SLEEPING AREAS, CHANGE IN LEVEL & ENTRY/EXITS AS PER NZS 4514 & BRANZ BULLETINS NO'S 606

ADDITIONAL FLOOR PLAN NOTES:

- ALL GLAZING TO COMPLY WITH NZS4223
- ALL HARD FLOOR FINISHES AT MAIN ENTRANCE TO COMPLY WITH NZBC D1/AS TABLE 2.
- HOT WATER PIPES TO BE SIZED ACCORDING TO NZBC G12 & NZS4305:1996. MAINS PRESSURE: 15mm DIA. ALLOWS 12m MAX. PIPE LENGTH. PIPE LENGTH BEYOND THIS MUST BE LAGGED.
- SATIN ENAMEL WALL FINISH TO BATHROOM, ENSUITE & THOSE WALLS ADJACENT TO SINKS ETC. IN KITCHEN & LAUNDRY. IMPERVIOUS LINING TO BE USED ABOVE BASINS, VANITIES & BENCHES. BOTTOM EDGE TO BE FILLED WITH FUNGUS/MOULD RESISTANT SEALANT.
- ENSURE ALL SPACES WITHIN THE BUILDING ARE PROVIDED WITH ADEQUATE ARTIFICIAL LIGHTING (MIN. 20 LUX AT FLOOR LEVEL) TO ENABLE SAFE MOVEMENT IN THE ABSENCE OF NATURAL LIGHT
- ALL DOWNLIGHTS FITTED TO HOUSE ARE TO BE IC-F CLASS (INSULATION OVER)

WATER PROOFING MEMBRANE NOTE:

SELECTED WATERPROOFING MEMBRANE REQUIRED TO BATHROOMS & REBATED/LEVEL ACCESS SHOWERS.



FLOOR PLAN

SCALE 1:100 @A3

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JOB TITLE:
MGH

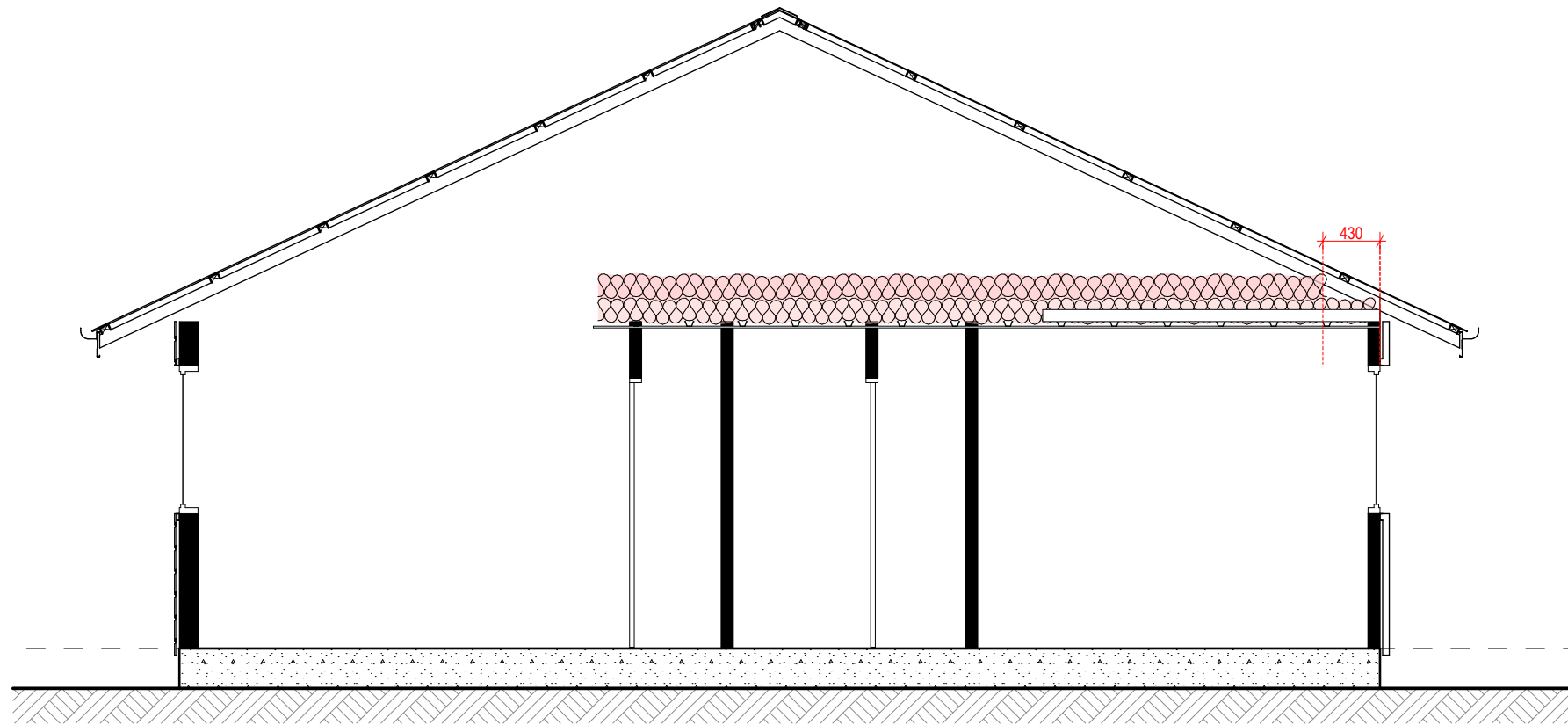
DRAWING TITLE:
FLOOR PLAN

IMPORTANT NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

LEGAL DESCRIPTION:
 LOT:116 DP:570929
 9 BOND STREET,
 BLENHEIM

LEGAL NOTES:
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VERSION: X	TECH: TBC	DATE OF ISSUE: 4/12/2023	SHEET: SK-03



SECTION AA

SCALE 1:50 @A3

INSULATION CALC DOES NOT INCLUDE GARAGE AREA (BATTS REQUIRED TO INTERNAL WALLS BETWEEN GARAGE AND HOUSE. SLAB AREA PERIMETER CORRECTION APPLIED)



H1/AS1 5th Edition Calculation Method Spreadsheet - Results

Version: 21-Oct-2022

Client	MGH
Project name	ML070
Address	9 BOND ST
Designer	TC
Date	

Territorial Authority	Marlborough District	Climate Zone	3
When submitted	After 2 November 2023	Application	Housing

Proposed Building		Area (m ²)	Proposed Building Heat Loss (W/K)
Element			
Slab Floors		151.0	107.1
Other Floors		0.0	0.0
Roof		151.0	23.6
Skylights		0.0	0.0
Walls		121.6	46.2
Glazing (walls & doors)	(26.1% of total wall area)	43.6	94.8
Doors (opaque)		1.7	1.0
		468.9	Total 272.7

Reference Building		Area (m ²)	Reference Building Heat Loss (W/K)
Element			
Slab Floors		151.0	100.7
Other Floors		0.0	0.0
Total Roof (includes skylight area)		151.0	22.9
Walls (70% of total wall area)		116.8	58.4
Glazing allowance (30% of total wall area)		50.1	108.8
		468.9	Total 290.8

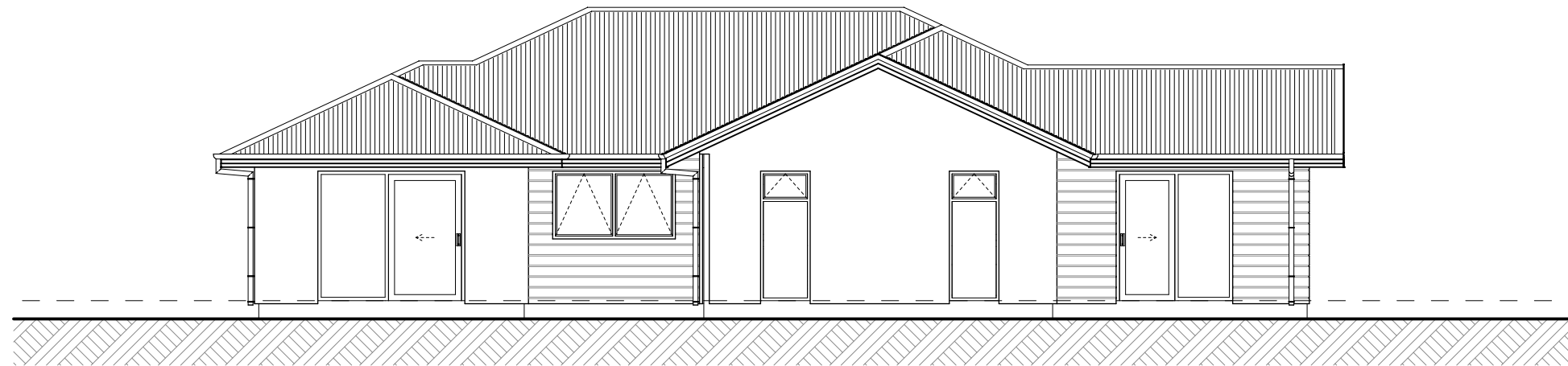
Comparison of proposed building against the reference building

PASS

Element type	Description	Embed heating?	Area (m ²)	Construction R-value (m ² .K/W)	Heat Loss (W/K)	Errors	
1	Slab Floors	RAFT NO EDGE	No	151.0	1.4	107.1	
2	Roof	2X3.6	No	133.0	7.3	18.3	
3	Roof	1X 3.6 PERIMETER	No	18.0	3.4	5.3	
4	Walls	ROCK XTHERM GOLD 2.6	No	101.0	2.9	34.6	
5	Walls	OBLIQUE 2.6	No	20.6	1.8	11.6	
6	Glazing (walls & doors)	ENTRY SIDELIGHT		1.4	0.46	3.0	
7	Glazing (walls & doors)			1.7	0.46	3.8	
8	Glazing (walls & doors)			1.7	0.46	3.8	
9	Glazing (walls & doors)			4.1	0.46	8.9	
10	Glazing (walls & doors)			1.7	0.46	3.8	
11	Glazing (walls & doors)			1.7	0.46	3.8	
12	Glazing (walls & doors)			1.7	0.46	3.8	
13	Glazing (walls & doors)			7.5	0.46	16.3	
14	Glazing (walls & doors)			2.2	0.46	4.9	
15	Glazing (walls & doors)			5.1	0.46	11.2	
16	Glazing (walls & doors)			1.0	0.46	2.2	
17	Glazing (walls & doors)			1.7	0.46	3.8	
18	Glazing (walls & doors)			2.2	0.46	4.9	
19	Glazing (walls & doors)			2.2	0.46	4.9	
20	Glazing (walls & doors)			1.8	0.46	3.9	
21	Glazing (walls & doors)			0.9	0.46	2.0	
22	Glazing (walls & doors)			0.9	0.46	2.0	
23	Glazing (walls & doors)			2.0	0.46	4.3	
24	Glazing (walls & doors)			1.7	0.46	3.8	
25	Doors (opaque)						
26	Doors (opaque)			1.7	1.72	1.0	

GLASS CONSTRUCTION VALUE SEE TABLE E.1.1.1.1 OF H1 FIFTH EDITION
0.37 THERMALLY IMPROVED
0.46 THERMALLY BROKEN
OPAQUE DOOR VALUE 0.56 (PARKWOOD THERMATECH)

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NORTH
SCALE 1:100 @A3

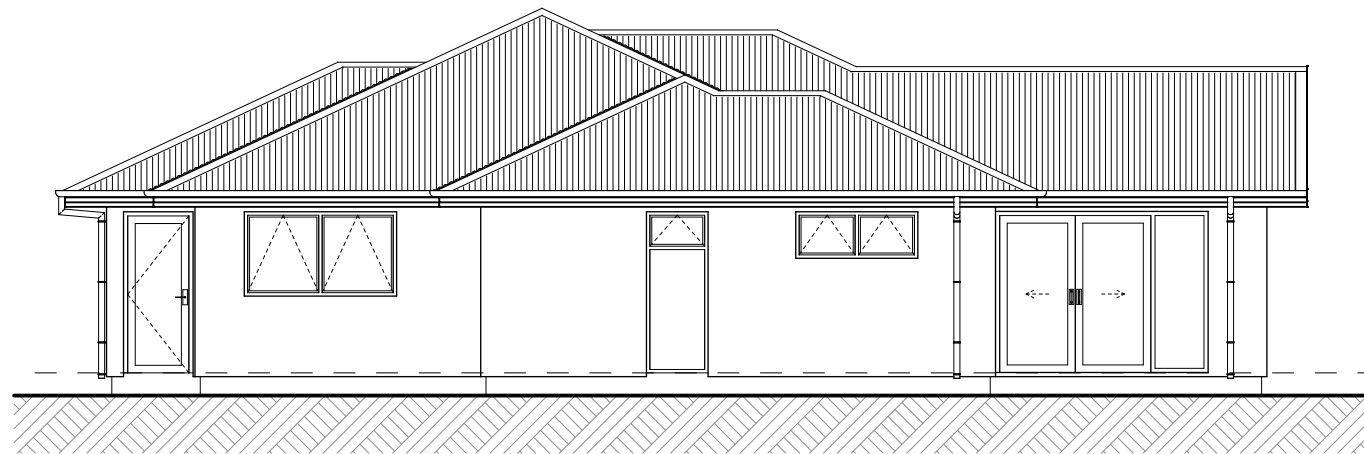
JOINERY
- ALL JOINERY FROM DOUBLE GLAZED(EXCEPT GARAGE) POWDER COATED ALUMINIUM. TO COMPLY WITH NZS4223. JOINERY MANUFACTURER TO VERIFY ALL SIZES ON SITE, SIZES NOMINATED ON FLOOR PLAN ARE OPENING SIZES JOINER AND OWNER ALL TO AGREE CONFIGURATION OF GLAZING PRIOR TO MANUFACTURE. DOOR PANEL SIZES MAY NOT BE EVEN WIDTHS AS SHOWN IN THESE ELEVATIONS
0 = OPAQUE GLASS - VERIFY WITH OWNER
S.G. = SAFETY GLASS REQ.
R.S. = RESTRICTOR STAYS

CLADDING GENERAL
SOME CLADDING PRODUCTS REQUIRE HORIZONTAL OR VERTICAL JOINERS THAT WILL NOT BE SHOWN IN ELEVATIONS

RCS ROCKCOTE MODIFIED PLASTER
MESH REINFORCED PLASTER OVER 50mm POLYSTYRENE ON CAVITY BATTEN SYSTEM OVER BUILDING WRAP TO FRAMING.

CONTROL JOINTS TO OCCUR
WHERE THE WALL LENGTH IS GREATER THAN 8 METRES IN LENGTH A CONTROL JOINT WILL NEED TO BE INSTALLED
OR WHERE A TWO STOREY DWELLING WALL HEIGHT EXCEEDS 6 METRES A HORIZONTAL CONTROL JOINT IS REQUIRED

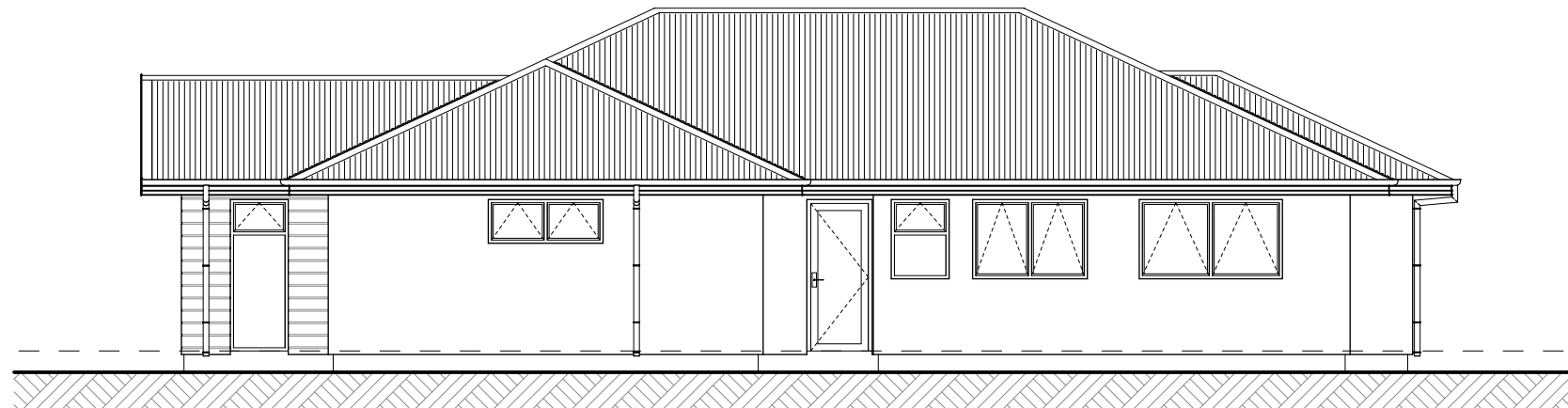
JH OBLIQUE W/BOARD (HORIZONTAL) 175mm WIDTH
JAMES HARDIE OBLIQUE W/BOARD ON 20mm CAVITY OVER BUILDING WRAP TO FRAME SEE FIXING DETAILS IN ATTACHED SPECIFICATION.



EAST
SCALE 1:100 @A3

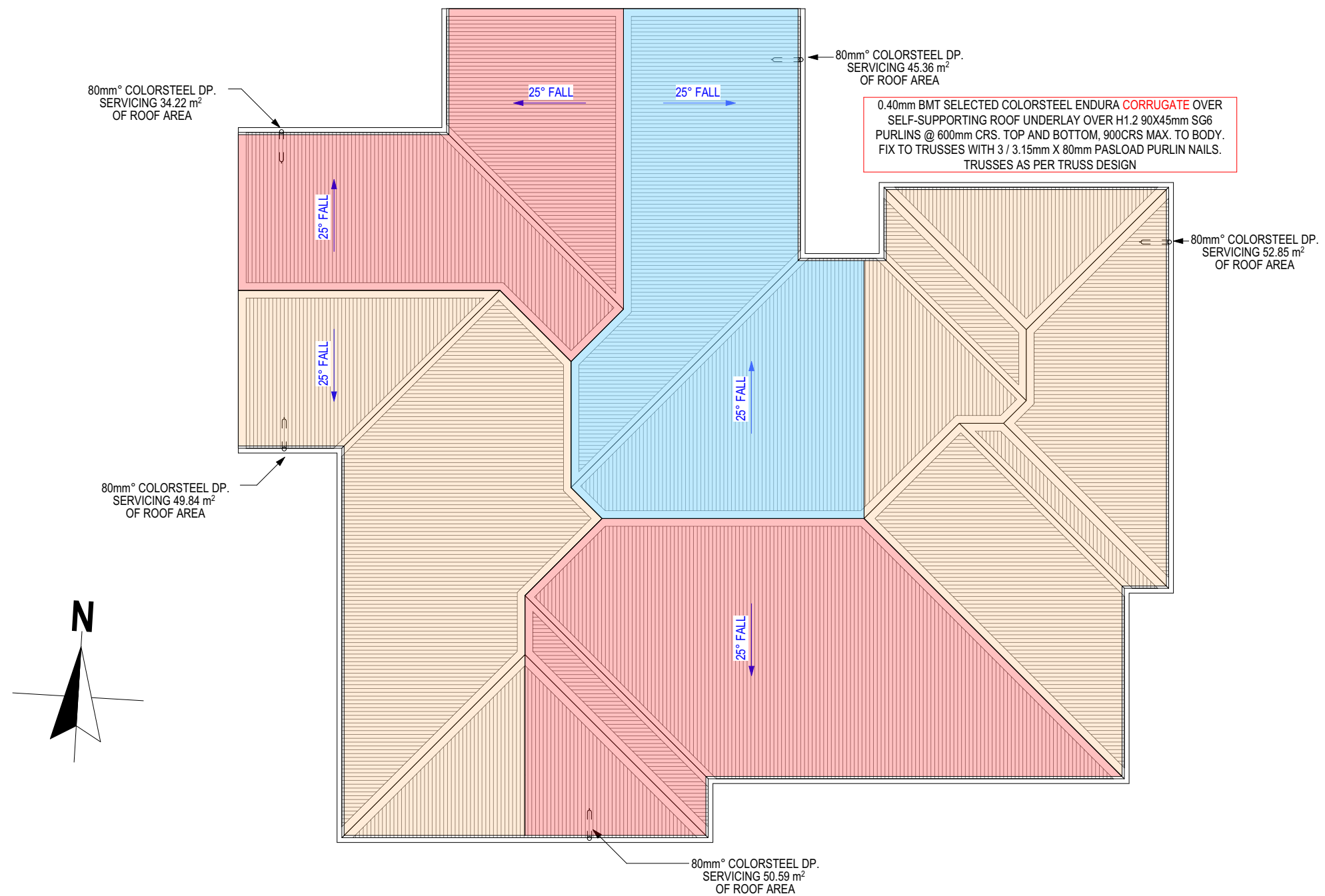


WEST
SCALE 1:100 @A3



SOUTH
SCALE 1:100 @A3

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ROOF PLAN

SCALE 1:100 @A3

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	<small>IMPORTANT NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS</small>	VERSION: X	TECH: TBC	DATE OF ISSUE: 4/12/2023	SHEET: SK-06			